



## **PLANNING COMMISSION AGENDA**

**Thursday, August 18, 2016**

**6:30 p.m.**

**Coon Rapids City Center**

**Council Chambers**

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### **Call to Order**

### **Pledge of Allegiance**

### **Roll Call**

### **Adopt Agenda**

Approval of Minutes from Previous Meeting - July21

### **Old Business**

1. PC 15-31, Conditional Use Permit and Site Plan for expansion of outdoor storage area, 9900 Vale St. Mayflower Properties

### **New Business**

2. PC 16-18 Land Use Amendment, Vanman Architects, 10110 Woodcrest Drive (Spirit of Grace Church)
3. PC 16-19 Zone Change, Vanman Architects, 10110 Woodcrest Drive (Spirit of Grace Church)
4. PC 16-20 Land Use Amendment, Local Oil Company of Anoka, 2437, 2423 and 2405 Coon Rapids Boulevard
5. PC 16-21 Zone Change, Local Oil Company of Anoka, 2437, 2423 and 2405 Coon Rapids Boulevard

### **Other Business**

Current Development

**Adjourn**



**Planning Commission Regular**

**Meeting Date:** 08/18/2016

**SUBJECT:** Approval of Minutes from Previous Meeting - July21

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**Attachments**

Draft July 21 minutes

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## **COON RAPIDS PLANNING COMMISSION MEETING OF JULY 21, 2016**

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### **CALL TO ORDER**

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The regular agenda meeting of the Coon Rapids Planning Commission was called to order by Chair Schwartz at 6:30 p.m.

Members Present: Chair Wayne Schwartz, Commissioners Kathie Casey, Denise Hosch, Ray Knoblauch, Mary Schmolke, Zachary Stephenson and Julia Stevens.

Members Absent: None.

Staff Present: Planner Scott Harlicker; and, Assistant City Attorney Doug Johnson.

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### **PLEDGE OF ALLEGIANCE**

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Chair Schwartz led the Commission in the Pledge of Allegiance.

### **ADOPTION OF THE AGENDA**

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MOTION BY COMMISSIONER STEPHENSON, SECONDED BY COMMISSIONER STEVENS, TO ADOPT THE AGENDA AS PRESENTED. THE MOTION PASSED UNANIMOUSLY.

### **APPROVAL OF THE JUNE 16, 2016 REGULAR MINUTES**

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Commissioner Hosch requested a change noting the Commission was approving the June 16, 2016 meeting minutes and not the July 21, 2016 meeting minutes.

MOTION BY COMMISSIONER HOSCH, SECONDED BY COMMISSIONER CASEY, TO APPROVE THE PLANNING COMMISSION MINUTES OF THE REGULAR MEETING OF JUNE 16, 2016, AS AMENDED. THE MOTION PASSED 6-0-1 (STEVENS ABSTAINED).

### **OLD BUSINESS**

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None.

### **NEW BUSINESS**

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1. PLANNING CASE 16-14 – APPROVAL FOR ALTERNATIVE EXTERIOR MATERIAL FOR ANOKA COUNTY GUN RANGE STORAGE BUILDING – 13299 HANSON BOULEVARD, CREW 2 – PUBLIC HEARING
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It was noted the applicant was requesting approval of an alternative exterior building material. The applicant is requesting to 29-gauge steel as exterior material for a storage building. Staff reviewed the request in detail with the Commission and recommended approval of the request to



allow an alternative metal siding because it would be consistent with the existing building and better integrate the building with the surrounding area.

The applicant reviewed a materials color swatch with the Commission.

Chair Schwartz opened and closed the public hearing at 6:37 p.m., as no one wished to address the Planning Commission.

Chair Schwartz indicated he has been on this site numerous times. He supported the proposed request.

Commissioner Casey explained she also visited the site and believed the proposed building material suited the property.

MOTION BY COMMISSIONER SCHMOLKE, SECONDED BY COMMISSIONER STEVENS, TO APPROVE PLANNING CASE 16-14, APPROVING ALTERNATIVE EXTERIOR MATERIAL FOR ANOKA COUNTY GUN RANGE STORAGE BUILDING. THE MOTION PASSED UNANIMOUSLY.

This is a recommendation to the City Council that will be considered at the August 3, 2016 City Council meeting.

## 2. PLANNING CASE 16-17 – ORDINANCE TO OPT OUT OF STATE TEMPORARY HEALTH CARE DWELLING STATUTE – PUBLIC HEARING

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It was noted the City was requesting approval of a zoning ordinance that would allow the City to opt out of a new State Statute that would otherwise allow temporary family health care dwellings to be used in the City's residential districts. Staff reviewed the Ordinance with the Commission and recommended approval.

Commissioner Casey asked if these units were similar to RV's. Assistant City Attorney Johnson explained the temporary health care dwelling units would have to be assembled elsewhere and be brought to the site. The vision would be the units were mobile and would be towed to a site. He discussed the proposed size requirements for the temporary health care dwelling units. It was staff's opinion that the vagueness within the State Statute was a concern. He feared that if the State Statute was allowed, it would open the door for other items that could be stored on driveways.

Commissioner Hosch questioned if the temporary health care dwelling units would be licensed. Assistant City Attorney Johnson discussed the State permitting fees and processes that would have to be followed by cities that elected to allow the temporary health care dwelling units.

Chair Schwartz inquired if the opt out Ordinance would have a sunset date. Assistant City Attorney Johnson advised the City was simply opting out of this legislation.

Chair Schwartz opened and closed the public hearing at 6:50 p.m., as no one wished to address the Planning Commission.

Commissioner Casey believed it was the prudent thing for the City to opt out of this State legislation.

MOTION BY COMMISSIONER HOSCH, SECONDED BY COMMISSIONER STEVENS, TO APPROVE PLANNING CASE 16-17, AN ORDINANCE TO OPT OUT OF THE STATE TEMPORARY HEALTH CARE DWELLING STATUTE. THE MOTION PASSED UNANIMOUSLY.

This is a recommendation to the City Council that will be considered at the August 3, 2016 City Council meeting.

#### OTHER BUSINESS

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Planner Harlicker provided the Planning Commission with an update on current development taking place in the City of Coon Rapids.

#### ADJOURN

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MOTION BY COMMISSIONER STEVENS, SECONDED BY COMMISSIONER SCHMOLKE, TO ADJOURN THE MEETING AT 6:54 P.M. THE MOTION PASSED UNANIMOUSLY.

Recorded and Transcribed by,  
Heidi Guenther  
Planning Commission Recording Secretary



## Planning Commission Regular

1.

**Meeting Date:** 08/18/2016

**Subject:** PC 15-31, Conditional Use Permit and Site Plan for expansion of outdoor storage area, 9900 Vale St. Mayflower Properties

**From:** Scott Harlicker, Planner

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### **INTRODUCTION**

The applicant is requesting a conditional use permit and site plan approval for a 26,187 square foot expansion to the outdoor storage area of the existing self storage facility.

### **ACTIONS**

Conduct a public hearing  
Decision by Planning Commission  
Appeal to City Council Available

### **60 DAY RULE**

The applicant has waived the requirements of Minnesota Statute §15.99.

### **LOCATION**

The property is located at 9900 Vale Street.

|                         | Existing Use                   | Comprehensive Plan           | Zoning                                   |
|-------------------------|--------------------------------|------------------------------|--|
| <b>Subject Property</b> | self storage facility          | Industrial                   | Industrial/River Rapids Overlay District |
| <b>North</b>            | undeveloped                    | Industrial                   | Industrial/River Rapids Overlay District |
| <b>South</b>            | Coon Rapids Boulevard          | N/A                          | N/A                                      |
| <b>East</b>             | BNSF Tracks/Apartment Building | ROW/High Density Residential | Industrial/High Density Residential      |
| <b>West</b>             | Coon Rapids Boulevard          | N/A                          | N/A                                      |

### **DISCUSSION**

#### Background

In 1987 the City granted site plan approval for a self storage facility that included outdoor storage. At the time of site plan approval the property was zoned Industrial and self storage facilities at this location were a permitted use. The property is still zoned Industrial; however, it is

now located within the River Rapids Overlay District and self storage facilities require a conditional use permit.

The site plan included 15 storage buildings and exterior storage extending the entire length of the property along the railroad tracks. The developer planned to construct the project in two phases over two years. The first phase, which included seven buildings and a portion (60,552 sf) of the outdoor storage area, was constructed in 1988. The second phase was never constructed. Since the code has changed since the time of site plan approval, any expansion of the use, including construction of the second phase, would require a conditional use permit and a new site plan that complies with current code requirements.

City Code in 1987 required that the driveways and outdoor storage area be paved and include curb and gutter. The developer installed limestone gravel in the storage area and requested a variance to the required paving and curb/gutter. The variance was withdrawn by the applicant; the outdoor storage was paved but curb and gutter was never installed. Over the years the outdoor storage has expanded beyond the paved area. The lack of curb and gutter has probably encourage that to occur.

The applicant is proposing to construct additional outdoor storage. The existing storage area is 60,552 square feet. The applicant is reconfiguring some of the existing storage area to accommodate a stormwater pond and installing 26,187 square feet of additional outdoor storage area for a total of 86,739 square feet. The applicant will also install the required curb and gutter around the new and existing paving and implement a stormwater management plan that complies with current requirements. No new buildings are proposed.

#### **STAFF ANALYSIS AND STANDARDS FOR APPROVAL**

Site plans must meet the standards in Chapters 11-304.8 of the zoning code. The conditional use permit must meet the standards of Section 11- 11-304.3 and 11-1003.8(5)(b). Staff comments and analysis related to these sections are stated below.

#### ***Site Plan Criteria***

| <b>Required Finding - Chapter 11-325 - General Requirements for All Site Plans</b> | <b>Staff Analysis and Comments</b>   |
|--|--|
| (1) Be compatible with surrounding land uses                                       | <b>OK</b> - The proposed site plan is compatible with the adjacent land uses.  |
| (2) Preserve existing natural features whenever possible                           | <b>OK</b> – The plan preserves the existing landscaping as much as possible.   |
| (3) Achieve a safe and efficient circulation system                                | <b>OK</b> – The drive aisles are of sufficient width to allow for safe and efficient traffic circulation.                                |
| (4) Not place excessive traffic loads on local streets                             | <b>OK</b> - Coon Rapids Boulevard Extension and Vale Street have adequate capacity to accommodate the traffic generated by this project. |

|  |  |
|--|--|
| (5) Conform to the City's plans for parks, streets, service drives, and walkways | <b>OK</b> – There is a sidewalk identified on the Sidewalks and Trails plan along East River Road The applicant will be required to install the sidewalk or provide an escrow to cover the cost of installation. |
| (6) Conform to the City's Goals and Policies                                     | <b>OK</b> - The proposal is consistent with the Comprehensive Plan.  |
| (7) Achieve a maximum of safety, convenience, and amenities                      | <b>OK</b> - Lighting is provided for the parking lot and driveway.   |
| (8) Show sufficient landscaping  | <b>OK</b> – See landscaping discussion.  |
| (9) Not create detrimental disturbances to surrounding properties                | <b>OK</b> – The project will not create disturbances which will be detrimental to the surrounding properties.  |
| (11) Meet Title 11   | <b>OK</b>  |
| (12) Show efforts to conserve energy whenever practical                          | <b>OK</b>  |

***Compliance with Conditional Use Permit Standards, Chapter 11-304.3***

| <b>Standards</b>  | <b>Staff Comment</b>   |
|---|--|
| The use shall be in conformance with the City's comprehensive Plan.   | <b>OK</b> – The Comprehensive Plan has identified this site as Industrial  |
| The use shall not be detrimental to the public health, safety or welfare.   | <b>OK</b> – The proposed use will not create any effects that will be detrimental to the public health safety or welfare.                      |
| The use shall be compatible with the existing or intended character of the zoning district.   | <b>See discussion below.</b>   |
| The use shall not depreciate property values.   | <b>OK</b> – The use will not depreciate property values.   |
| The use shall not produce dangerous or detrimental noises, glare, smoke, dust, odor, water pollution, vibration or other nuisances. | <b>OK</b> – The use will not produce dangerous or detrimental noises, glare, smoke, dust, odor, water pollution, vibration or other nuisances. |
| The use shall not create traffic congestion, unsafe access or inconvenience parking needs.  | <b>OK</b> – The use will not generate significant increase in traffic or parking needs.  |
| The use shall be served adequately by essential services.   | <b>OK</b> – The essential services currently available to the site are sufficient to serve the proposed use.                                   |
| The use shall not create excessive additional requirements at public cost for public facilities and services.                       | <b>OK</b> – The proposed use will not require additional public facilities or services.  |
| The use shall preserve and incorporate the site's important natural features into the development design.                           | <b>OK</b> – The existing vegetation will be preserved as much as possible.   |
| The use shall cause minimal adverse environmental effects.  | <b>OK</b> – There will be no adverse environmental effects resulting from the proposed use.  |

|  |     |
|--|-----|
| The Council may waive one or more of the above requirements provided they make a determination that the public interest is best served by such a waiver. | N/A |
|--|-----|

### Landscaping

The applicant is preserving the existing trees and shrubs. However, additional landscaping will be needed to fill in the gaps in the existing screening. Code requires that the site be screened from view from Coon Rapids Boulevard. There is a 125 foot wide utility easement that runs parallel to the railroad tracks. No trees can be planted within that easement.

### Compatibility with the Intended Character of the Zoning District

The site is visible from Coon Rapids Boulevard and is at the east entrance to PORT Riverwalk. Since the site is so prominent, the aesthetics of the property is important. To maintain the visual quality of the site, staff is recommending that there be limits in place that control what can be stored on the property. Staff recommends that storing the following items be prohibited:

- Special mobile equipment
- Semi tractors and/or trailers
- Ground level storage containers
- Storage of loose or bulk material (sand, gravel, salt etc.)
- Trucks exceeding 24 feet in length or 25,000 pounds in gross vehicle weight

In addition to the above, the applicant should work with staff on a striping plan for the outdoor storage area. This will help keep the site organized.

### ***Compliance with Conditional Use Permit Standards, Chapter 11-1003.8(5)(b)***

Commercial and self-service storage facilities, adjacent to Coon Rapids Boulevard and in the General Commercial or Industrial zoning districts may be granted a conditional use permit based on the following findings:

- (i) It is not feasible to install public sidewalk to serve the facility; and
- (ii) The facility is screened from view from Coon Rapids Boulevard.
- (i) It is not feasible to install a public sidewalk to serve the facility. The slope from East River Road up to the site precludes the installation of a sidewalk that complies with ADA standards.
- (ii) The existing vegetation along East River Road provides screening along East River Road. Additional landscaping will have to be provided to fill in the gaps where no landscaping currently exists. The power line easement along the railroad tracks restricts landscaping within it. Existing trees along the south side of the storage area provides screening from Coon Rapids Boulevard. Additional planting will be needed to fill in the gaps.

### **RECOMMENDATION**

In Planning Case 15-31, staff recommends the Planning Commission approve the proposed conditional use permit and site plan for the expansion of the outdoor storage area with the following conditions:

1. All engineering comments be addressed.
2. The applicant receive all necessary permits from Coon Creek Watershed District.
3. Trees to be saved must be marked and fenced off prior to grading commencing.
4. Storing the following is prohibited: Special mobile equipment, Semi tractors and/or trailers, Ground level storage containers, Storage of loose or bulk material (sand, gravel, salt etc.), Trucks exceeding 24 feet in length or 25,000 pounds in gross vehicle weight.
5. Striping plan be approved by staff.
6. A cash escrow be provided to the City for the future installation of the sidewalk along East River Road.
7. Additional landscaping be installed to fill in the gaps of the existing trees and shrubs.
8. The applicant enter into a Site Security Agreement with the City prior to the issuance of permits.

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### **Attachments**

Location Map

Development Plans

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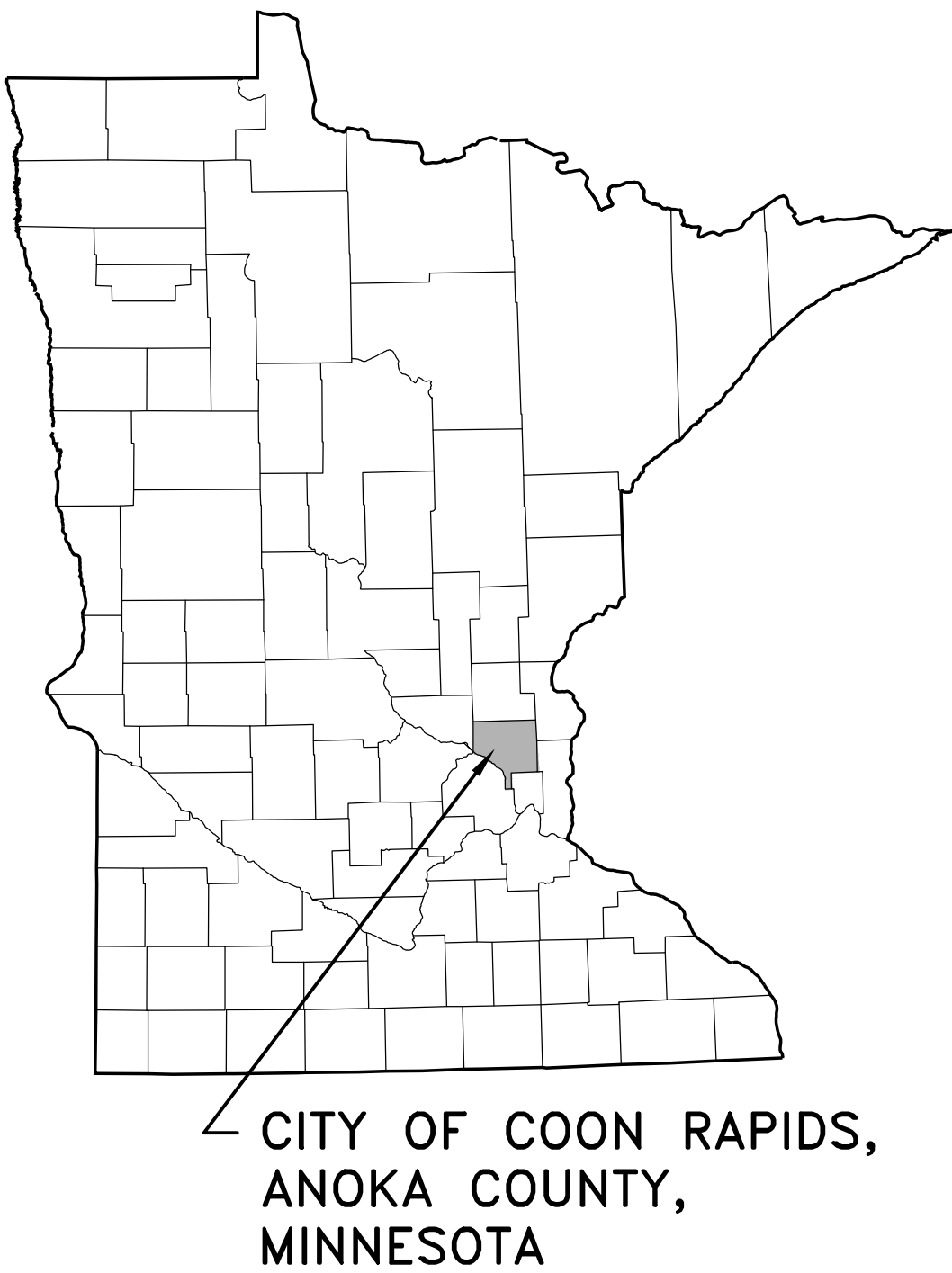
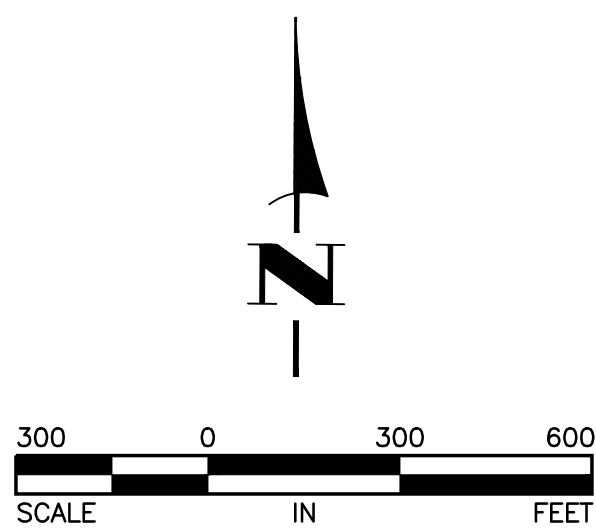
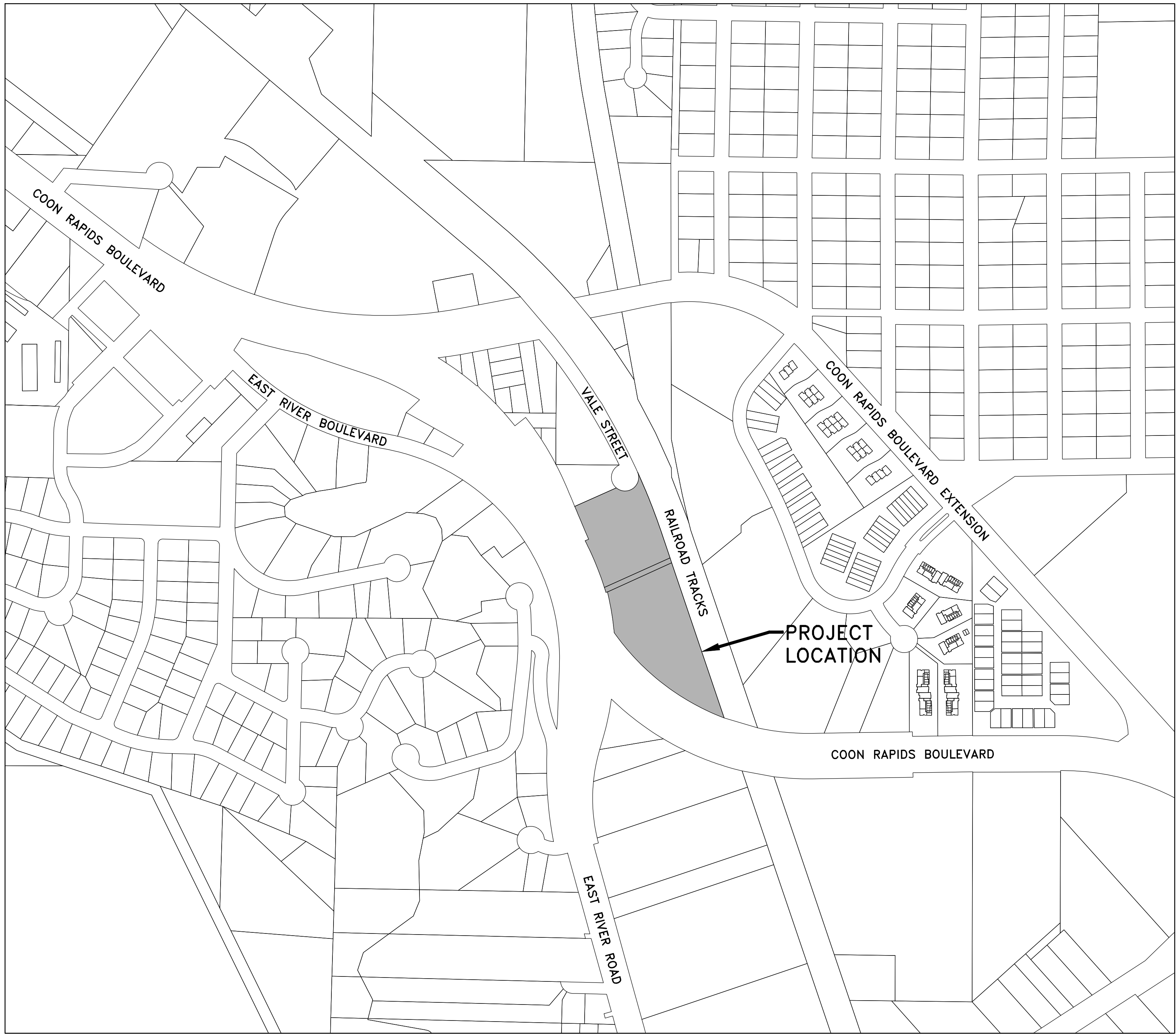


# Location Map





MAYFLOWER PROPERTIES PARKING LOT EXPANSION  
CONSTRUCTION PLANS FOR AGGREGATE BASE, BITUMINOUS SURFACING, CURB & GUTTER,  
GRADING, STORM SEWER AND MISCELLANEOUS CONSTRUCTION  
CITY OF COON RAPIDS



THE SUBSURFACE UTILITY INFORMATION  
IN THIS PLAN IS UTILITY QUALITY LEVEL  
D. THIS QUALITY LEVEL WAS DETERMINED  
ACCORDING TO THE GUIDELINES OF  
CI/ASCE 38-2, ENTITLED "STANDARD  
GUIDELINES FOR THE COLLECTION AND  
DEPICTION OF EXISTING SUBSURFACE  
UTILITY DATA."

GOVERNING SPECIFICATIONS

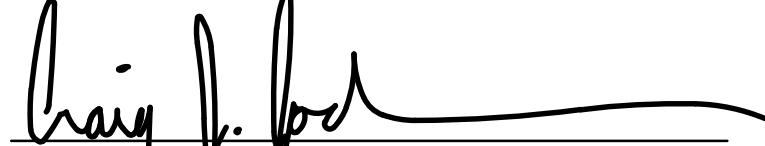
THE 2016 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION  
"STANDARD SPECIFICATIONS FOR CONSTRUCTION" SHALL APPLY.  
  
ALL FEDERAL, STATE AND LOCAL LAWS, REGULATIONS, AND ORDINANCES  
SHALL BE COMPLIED WITH IN THE CONSTRUCTION OF THIS PROJECT.  
  
ALL TRAFFIC CONTROL DEVICES AND SIGNING SHALL CONFORM TO THE  
LATEST EDITION OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC  
CONTROL DEVICES, INCLUDING THE LATEST FIELD MANUAL FOR  
TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS.

SHEET INDEX

THIS PLAN CONTAINS 4 SHEETS

| SHEET NO. | DESCRIPTION                                |
|-----------|--|
| 1         | TITLE SHEET                                |
| 2         | GENERAL CONSTRUCTION NOTES AND DETAILS     |
| 3         | EXISTING TOPOGRAPHY AND REMOVALS PLAN      |
| 4         | GRADING, DRAINAGE AND EROSION CONTROL PLAN |

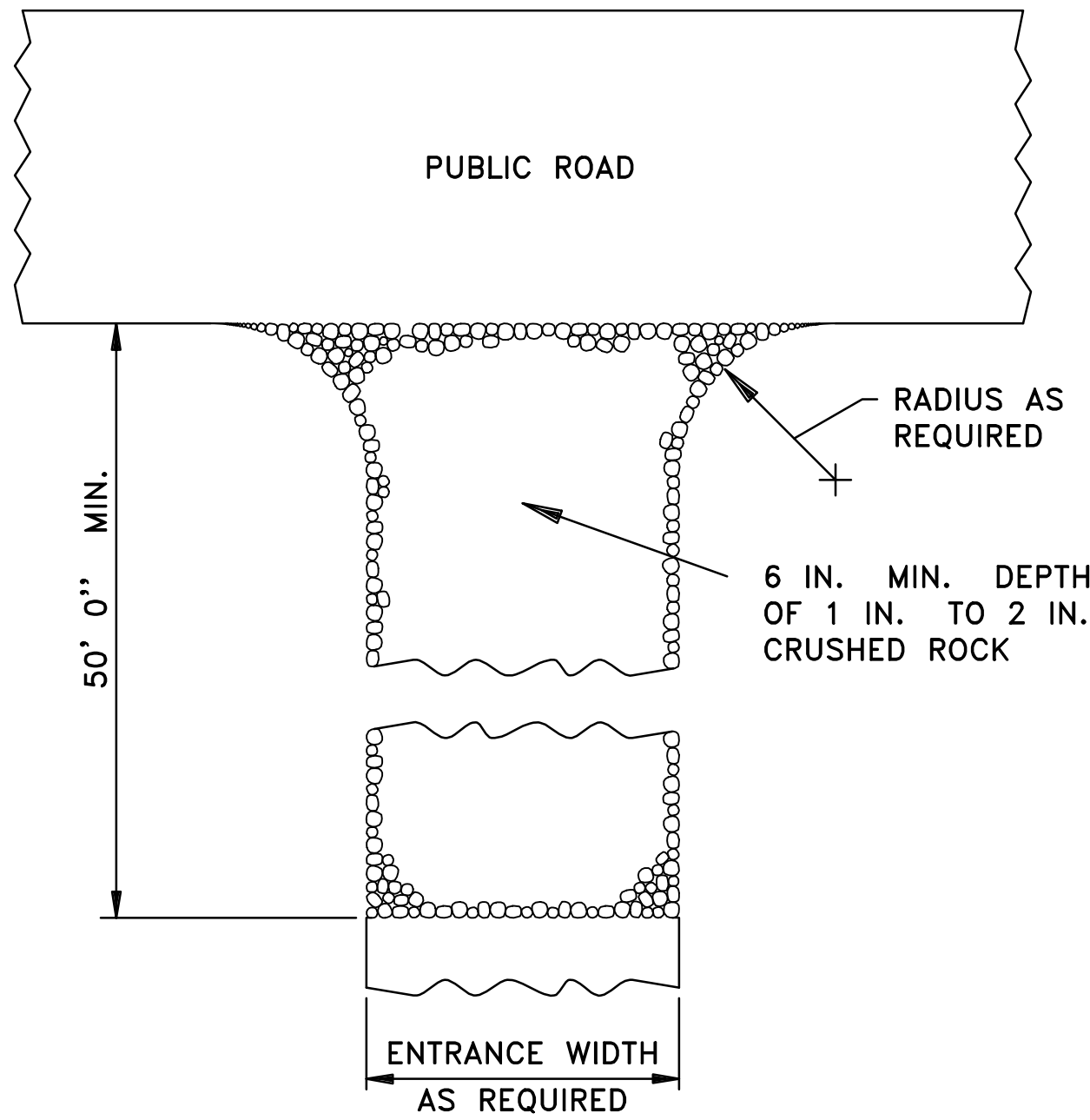
I hereby certify that this plan, specification, or report was prepared  
by me or under my direct supervision and that I am a duly Licensed  
Professional Engineer under the laws of the State of Minnesota.

  
CRAIG J. JOCHUM, P.E.  
HAKANSON/ANDERSON  
DESIGN ENGINEER  
23461 LIC. NO. DATE 7/18/16

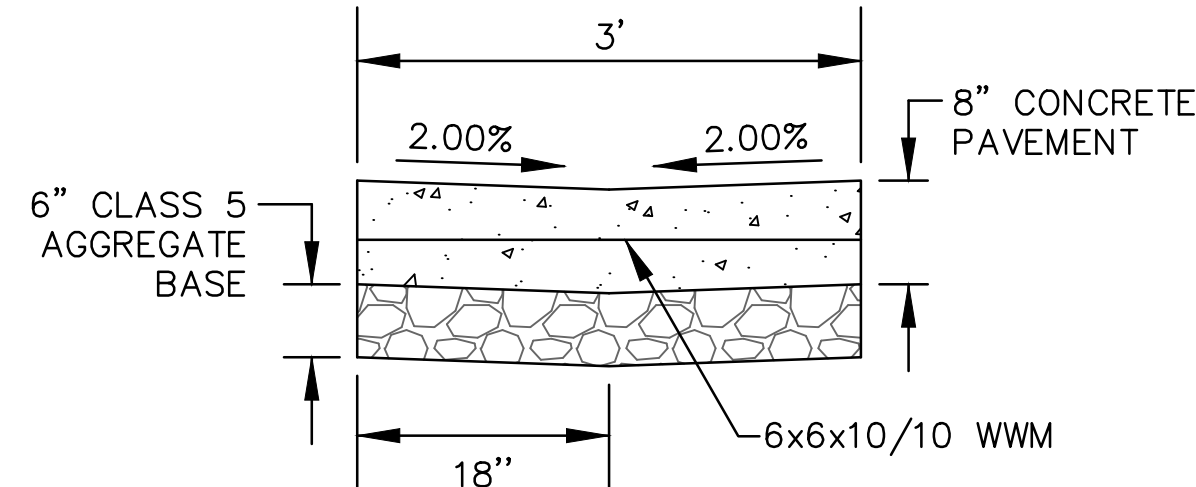
| DATE | REVISION |
|------|----------|
|      |          |
|      |          |
|      |          |
|      |          |
|      |          |

- GENERAL CONSTRUCTION AND SOILS NOTES:
1. STRIP ALL INPLACE TOPSOIL IN AREAS TO BE DISTURBED BY CONSTRUCTION AND REUSE AS SLOPE DRESSING. IN AREAS OF PARKING LOT CONSTRUCTION, THE EXPOSED SOIL SHALL BE SURFACE COMPACTED TO AT LEAST 100% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY, ASTM D698, IN AT LEAST THE UPPER 3 FEET.
  2. UNLESS OTHERWISE RECOMMENDED IN THESE PLANS, THE GRADING SUBGRADE SHALL BE CONSTRUCTED OF SUITABLE GRADING MATERIAL. THE FILL SHALL BE PLACED IN 8" TO 10" LOOSE LIFTS, AND COMPACTED TO 100% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY.
  3. SUITABLE GRADING MATERIAL FOR THIS PROJECT SHALL CONSIST OF ALL SOILS ENCOUNTERED WITH THE EXCEPTION OF TOPSOIL, SILT, DEBRIS, ORGANIC MATERIAL AND OTHER UNSTABLE MATERIAL.
  4. PROVIDE A SAW CUT WHEN PLACING NEW PAVEMENT ADJACENT TO INPLACE PAVEMENT AND AT TERMINI OF CONSTRUCTION TO ENSURE A UNIFORM JOINT.
  5. BITUMINOUS AND CONCRETE ITEMS DISTURBED BY CONSTRUCTION SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF IN ACCORDANCE WITH MN/DOT SPEC. 2104.3.
  6. USE TACK COAT BETWEEN ALL BITUMINOUS MIXTURES. THE BITUMINOUS TACK COAT MATERIAL SHALL BE APPLIED AT A UNIFORM RATE OF 0.05 GAL/SY TO 0.07 GAL/SY BETWEEN BITUMINOUS LAYERS. THE APPLICATION RATES ARE FOR UNDILUTED EMULSIONS (AS SUPPLIED FROM THE REFINERY) OR MC AND RC LIQUID ASPHALTS.
  7. PERFORMANCE GRADED (PG) ASPHALT BINDER PG 58-28, SPEC. 3151, SHALL BE USED FOR ALL BITUMINOUS MIXES ON THIS PROJECT. SPECIFIC PG GRADES SHALL BE LISTED AT THE END OF THE MIX DESIGNATION NUMBER SHOWN ON THE TYPICAL SECTION.
  8. THE BITUMINOUS MIXTURES SHALL MEET THE REQUIREMENTS OF SPECIFICATIONS 2360 AND 3139.
  9. ALL DISTURBED AREAS SHALL BE RESTORED WITH 4" OF TOPSOIL AND SEED OR SOD.
  10. CORRUGATED POLYETHYLENE PIPE (CPP) SHALL MEET THE REQUIREMENTS OF AASHTO M294 AND DESIGN SECTION 18 OF THE AASHTO STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES. CONNECTIONS SHALL BE MADE WITH BELL AND SPIGOT JOINTS. CLAMP-ON BANDS SHALL NOT BE ALLOWED. PIPE BEDDING SHALL BE PER THE MANUFACTURER'S RECOMMENDATION.

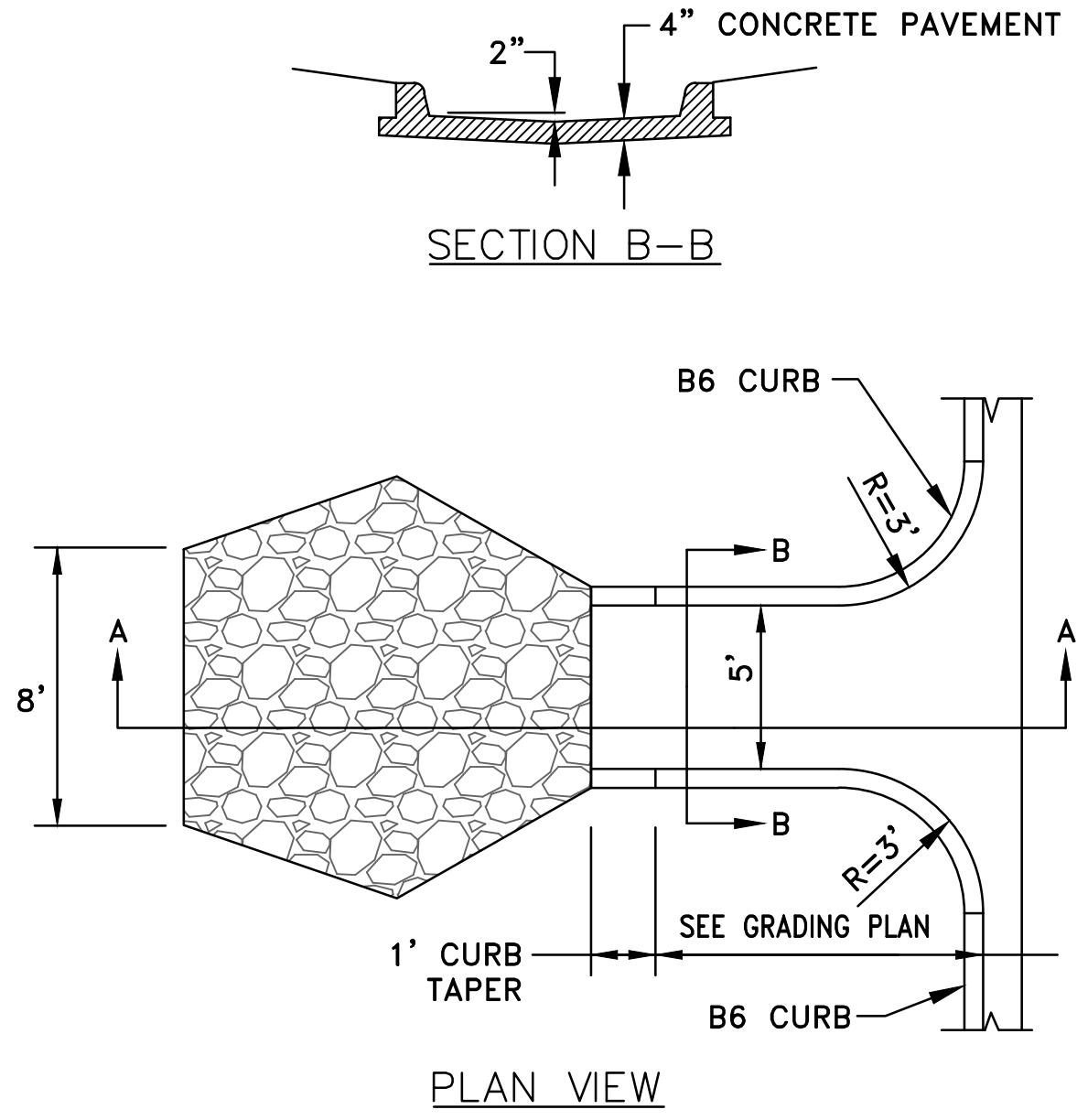
- GENERAL EROSION CONTROL NOTES:
1. EROSION CONTROL SHALL CONFORM TO THE MN/DOT EROSION CONTROL HANDBOOK.
  2. PRIOR TO ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL ACQUIRE THE NECESSARY MPCA NPDES STORMWATER PERMIT.
  3. THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENT CONTROL FACILITIES (BMP'S) PRIOR TO GRADING AND REMOVAL ACTIVITIES. BMP'S SHALL BE MAINTAINED FOR THE DURATION OF CONSTRUCTION ACTIVITIES AND POTENTIAL FOR EROSION HAS PASSED.
  4. THE CONTRACTOR SHALL SCHEDULE THEIR OPERATION TO MINIMIZE THE AMOUNT OF DISTURBED AREA AT ANY GIVEN TIME.
  5. BMP'S SHALL BE INSPECTED DAILY BY THE CONTRACTOR. OBSERVATIONS SHALL BE RECORDED IN AN INSPECTION LOG.
  6. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROPERLY DISPOSED OF WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION.
  7. THE CONTRACTOR SHALL FILE A NOTICE OF TERMINATION WITH THE MPCA AFTER FINAL STABILIZATION HAS BEEN APPROVED.



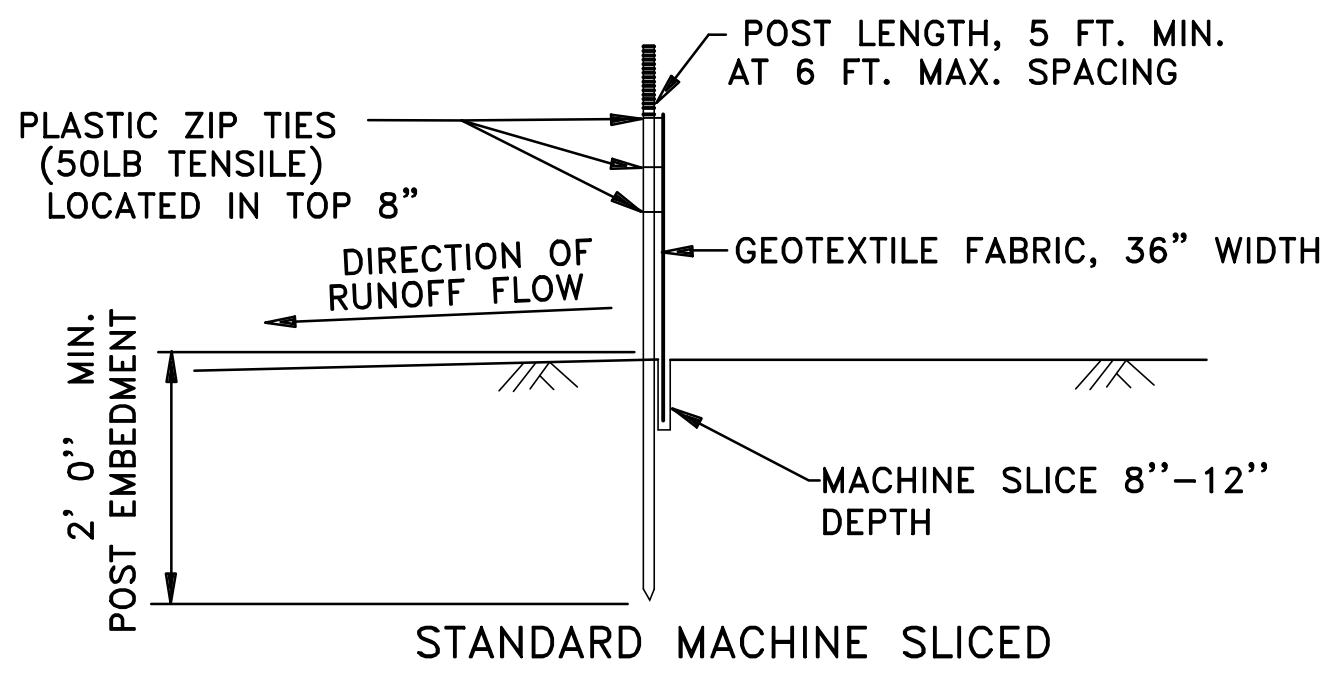
1 ROCK CONSTRUCTION ENTRANCE



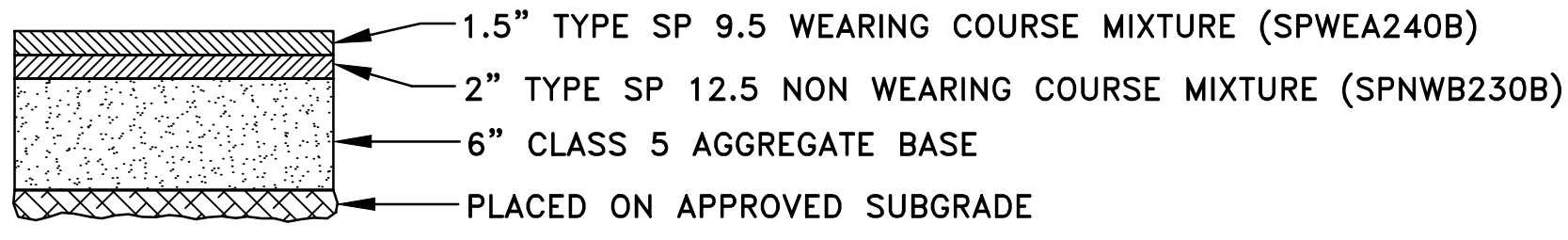
7 CONCRETE VALLEY GUTTER  
NO SCALE



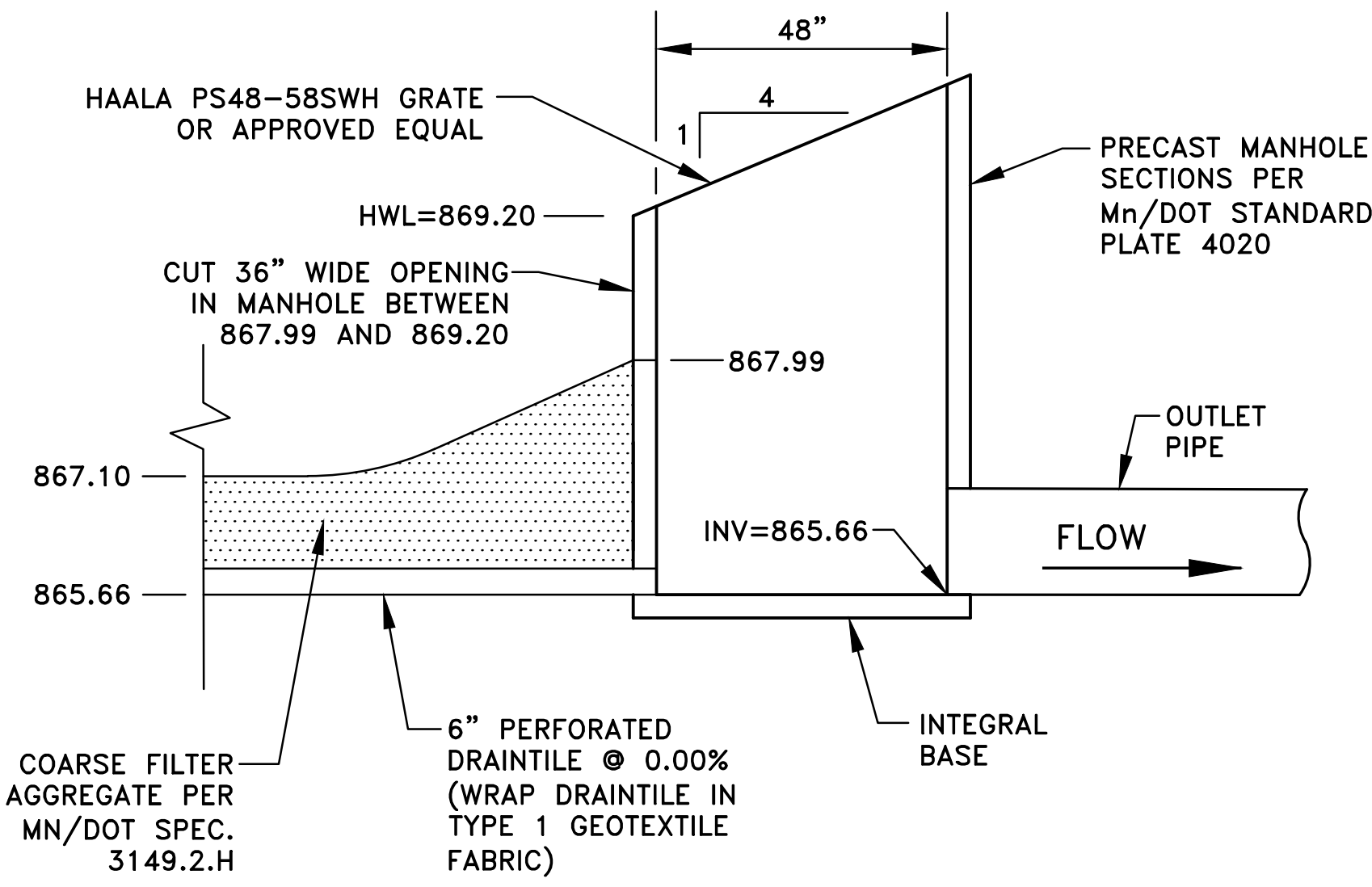
5 CONCRETE FLUME  
NO SCALE



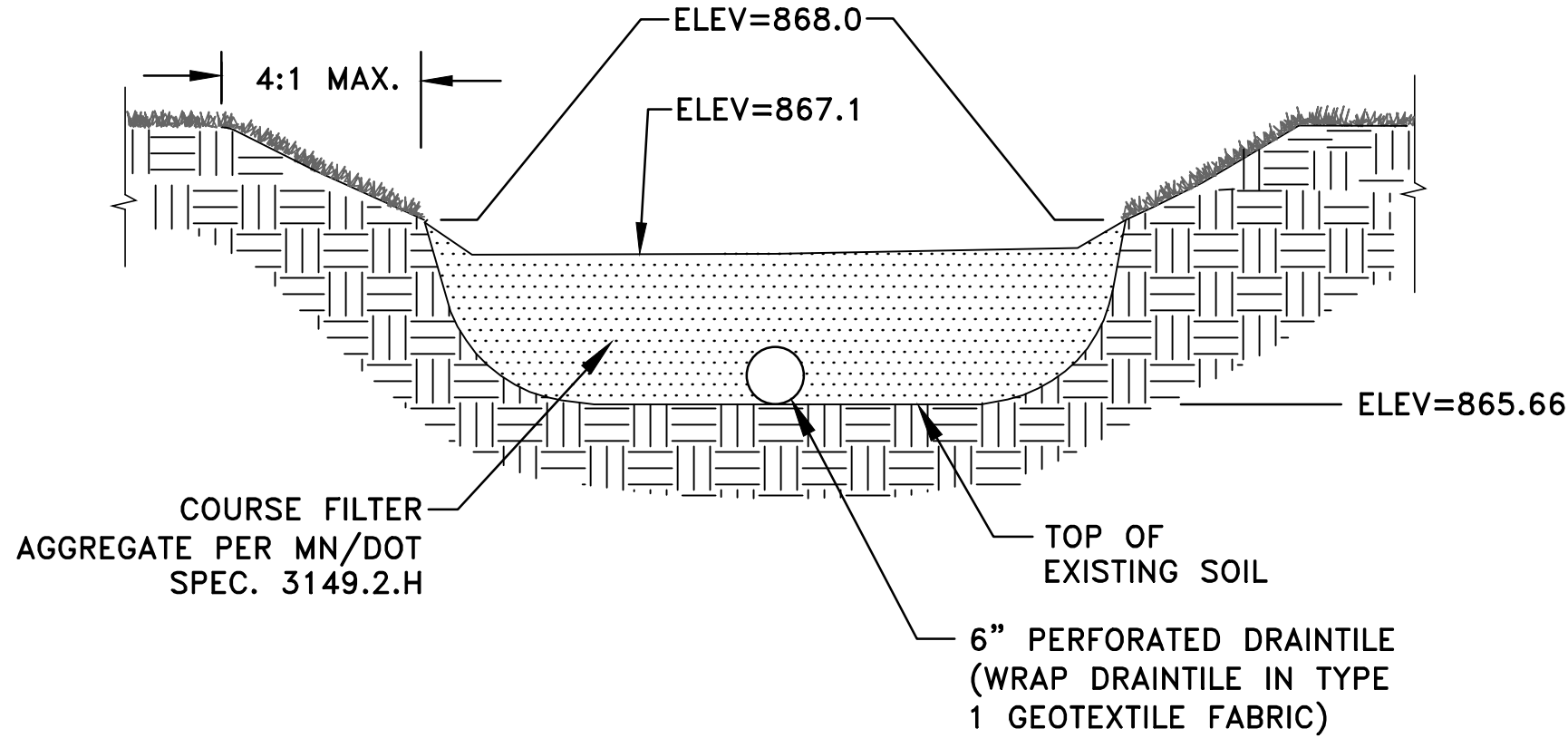
2 SILT FENCE DETAILS  
TO PROTECT AREAS FROM SHEET FLOW  
(SEE SPEC. 3886)



3 PAVEMENT SECTION  
NO SCALE



4 POND OUTLET STRUCTURE  
NO SCALE



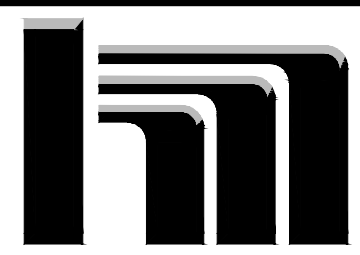
6 FILTRATION POND  
NO SCALE

| DATE   | REVISION                      |
|--------|-------------------------------|
| 8/2/16 | REVISED POND OUTLET STRUCTURE |
|        |                               |
|        |                               |
|        |                               |
|        |                               |

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Craig J. Fochum*  
Date 7/18/16 Craig J. Fochum, P.E. Lic. No. 23461

|              |     |
|--------------|-----|
| DESIGNED BY: | TAE |
| DRAWN BY:    | TAE |
| CHECKED BY:  | CJJ |



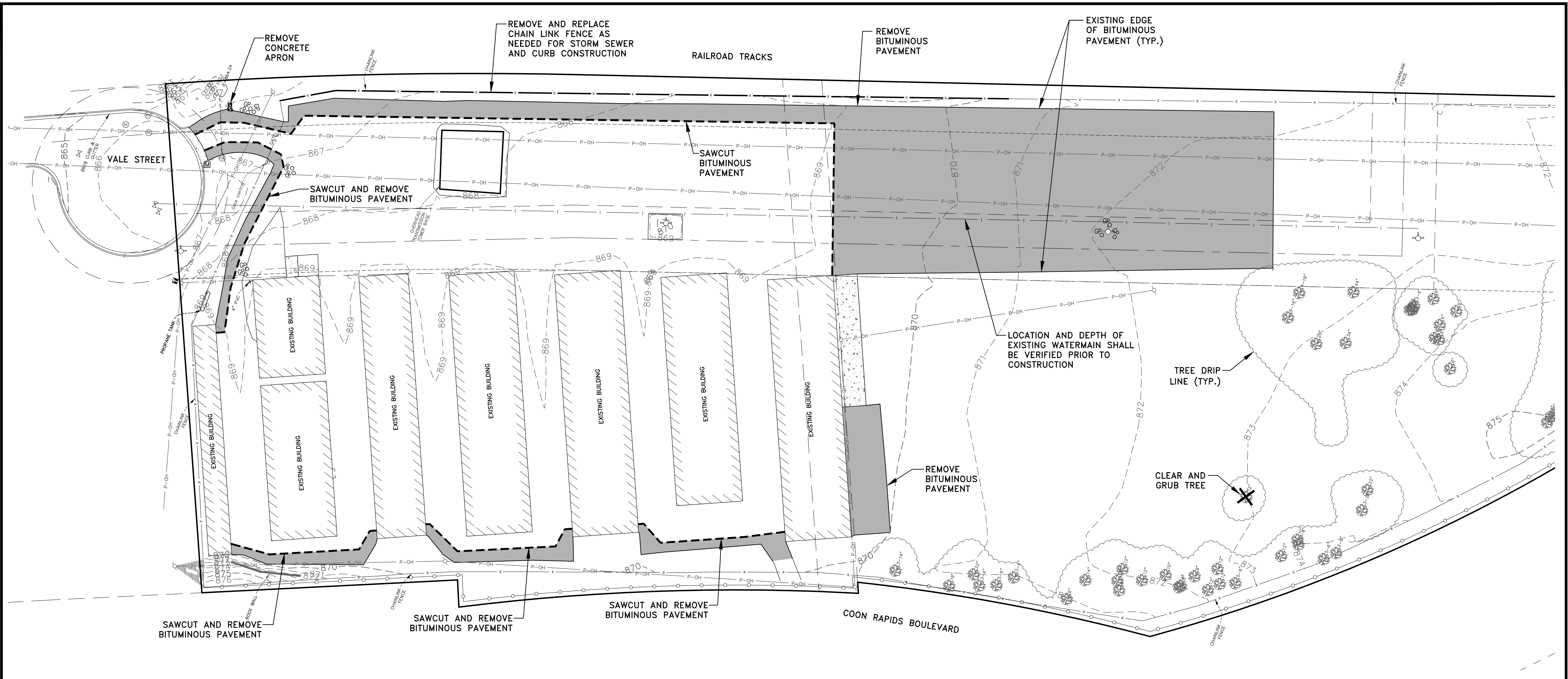
**Hakanson Anderson**  
Civil Engineers and Land Surveyors  
3601 Thurston Ave., Anoka, Minnesota 55303  
763-427-5860 FAX 763-427-0520  
www.hakanson-anderson.com

PARKING LOT EXPANSION  
MAYFLOWER PROPERTIES

CONSTRUCTION NOTES AND DETAILS  
CITY OF COON RAPIDS, MINNESOTA


|       |   |    |        |
|-------|---|----|--------|
| SHEET | 2 | OF | 4      |
|       |   |    | SHEETS |

Aug 03, 2016 - 8:58am  
K:\cad\_eng\PROJECTS\PRIVATE\3994.01\dwg\399401EXISTING.dwg



| DATE   | REVISION             |
|--------|----------------------|
| 8/2/16 | ADDED SURVEYED TREES |
|        |                      |
|        |                      |
|        |                      |
|        |                      |

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

  
Date 7/18/16 CRAIG J. POCHUM, P.E.  
Lic. No. 23461

DESIGNED BY:  
TAE  
DRAWN BY:  
TAE  
CHECKED BY:  
CJJ



**Hakanson Anderson**  
Civil Engineers and Land Surveyors  
3601 Thurston Ave., Anoka, Minnesota 55303  
763-427-5860 FAX 763-427-0520  
www.hakanson-anderson.com

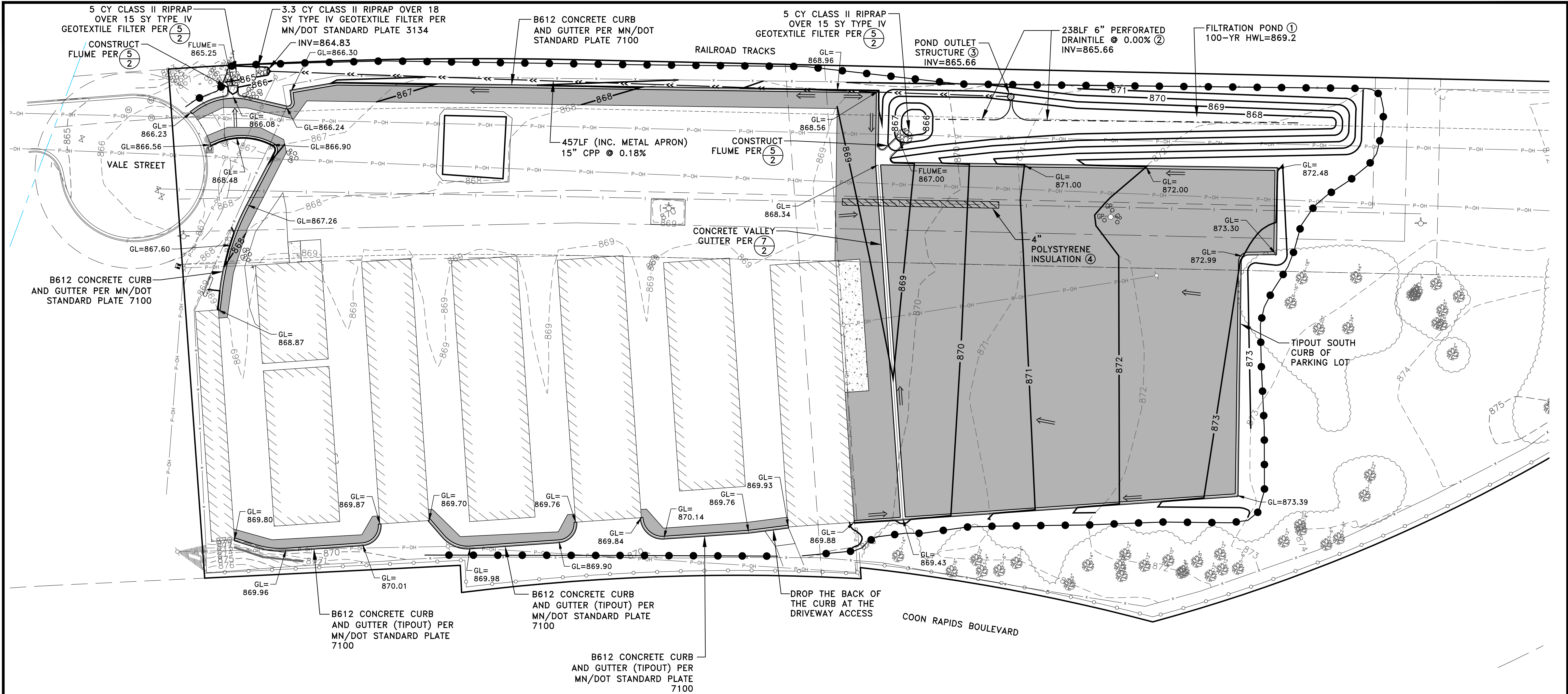
**PARKING LOT EXPANSION  
MAYFLOWER PROPERTIES**

**EXISTING TOPOGRAPHY  
AND REMOVALS PLAN**  
  
CITY OF COON RAPIDS, MINNESOTA

SHEET  
3  
OF  
4  
SHEETS

3994.01

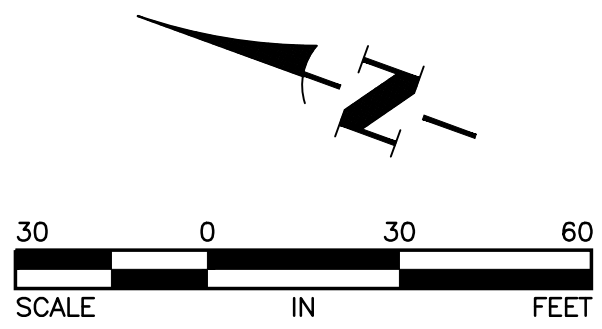




GENERAL NOTES:  
1. PRIOR TO IMPORTING OR EXPORTING MATERIAL FROM THE SITE, CONTRACTOR SHALL CONSTRUCT A ROCK CONSTRUCTION ENTRANCE PER (1/2).  
2. DISTURBED AREAS SHALL BE STABILIZED WITHIN 7 DAYS OF ROUGH GRADING.  
REFERENCE NOTES:  
(6/2) 1. CONSTRUCT FILTRATION POND PER (6/2).  
(2) 2. WRAP DRAINTILE IN TYPE 1 GEOTEXTILE FABRIC PER MN/DOT SPEC. 3733.  
(4/2) 3. CONSTRUCT POND OUTLET STRUCTURE PER (4/2).  
4. INSULATION SHALL BE 4' WIDE AND BE PLACED 3' OVER THE WATERMAIN.

LEGEND

- PROPOSED BITUMINOUS PAVEMENT PER (3/2)
- SILT FENCE PER (2/2)
- DRAINAGE ARROW



|        |                                 |  |              |   |  |   |   |                                |   |
|--------|---------------------------------|--|--------------|---|--|---|---|--------------------------------|---|
| DATE   | REVISION                        | <div>I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.</div> <div><br/>CRAIG J. JOCHUM, P.E.<br/>Date <u>7/18/16</u> Lic. No. <u>23461</u></div> | DESIGNED BY: |  | <div>Hakanson Anderson</div> <div>Civil Engineers and Land Surveyors</div> <div>3601 Thurston Ave., Anoka, Minnesota 55303</div> <div>763-427-5860 FAX 763-427-0520</div> <div>www.hakanson-anderson.com</div> | PARKING LOT EXPANSION<br>MAYFLOWER PROPERTIES | GRADING, DRAINAGE AND<br>EROSION CONTROL PLAN | CITY OF COON RAPIDS, MINNESOTA | <div>SHEET<br/>4</div> <div>OF</div> <div>4</div> <div>SHEETS</div> |
| 8/2/16 | REVISED PARKING LOT AND GRADING |  | TAE          |   |  |   |   |                                |   |
|        |                                 |  | TAE          |   |  |   |   |                                |   |
|        |                                 |  | CHECKED BY:  |   |  |   |   |                                |   |
|        |                                 |  | CJJ          |   |  |   |   |                                |   |



## **Planning Commission Regular**

2.

**Meeting Date:** 08/18/2016

**Subject:** PC 16-18 Land Use Amendment, Vanman Architects, 10110 Woodcrest Drive  
(Spirit of Grace Church)

**From:** Scott Harlicker, Planner

---

### **INTRODUCTION**

The applicant is requesting a land use amendment to change the land use designation of certain property from High Density Residential to Office. The applicant is also proposing a corresponding zone change to Office.

### **ACTIONS**

Conduct a public hearing

Recommendation by Planning Commission

Decision by City Council on: September 20

### **60 DAY RULE**

The applicant submitted this application on: July 7

To comply with the requirements of Minnesota Statute §15.99, the City extended the 60 day period to November 4, 2016

### **LOCATION**

The property is located at 10110 Woodcrest Drive

|                         | Existing Use             | Comprehensive Plan            | Zoning                    |
|-------------------------|--------------------------|-------------------------------|---------------------------|
| <b>Subject Property</b> | Church                   | High Density Residential      | High Density Residential  |
| <b>North</b>            | City park                | Park, Recreation and Preserve | Conservancy               |
| <b>South</b>            | Single Family Residences | Low Density Residential       | Low Density Residential 2 |
| <b>East</b>             | Lumber yard              | General Commercial            | General Commercial        |
| <b>West</b>             | City park                | Park, Recreation and Preserve | Conservancy               |

### **DISCUSSION**

## Background

The applicant is requesting a change to the land use designation from High Density Residential to Office. The site is currently home to Spirit of Grace Church. The site is approximately two acres in size. It is bounded by Woodcrest Park on the north and west, Woodcrest Drive and a lumber yard on the east and 101st Avenue and single family residences on the south.

Spirit of Grace Church was granted a conditional use permit in 2001. The property at that time was zoned and guided High Density Residential. In July 2004 the site plan for the church was approved. Since that time the church's membership has grown as had the need for additional space. The 50% impervious surface coverage in the High Density Residential district does not allow them to expand. The lot coverage requirement in the Office district is measured differently, it is based only on building coverage and does not include parking and driveways.

## Analysis

The description of the Office land use designation is predominantly administrative, professional or clerical services including medical clinics. It may include limited commercial uses generally compatible with adjacent residential uses. The description of the High Density Residential designation is multi-family housing, including apartment buildings and condominiums, at a gross density of 7 to 30 units per acre.

### *Proposed Office*

The proposed Office land use designation better reflects the the current use of the property and potential reuse of the site. Because of its size, the parcel is triangular shaped and is two acres in size, the current and future uses will likely be institutional or a small office. Both of which fall within the intent of the Office land use designation. The site provides a buffer between the adjacent single family neighborhood and the General Commercial district on Woodcrest Drive.

The proposed land use amendment is consistent with the following goals of the Comprehensive Plan:

1. It will maintain a complete and balanced neighborhood by including a variety of supporting commercial development. The proposed Office designation will offer opportunities supporting commercial/office and institutional uses.
2. Maintain a climate that encourages redevelopment and ongoing business activity. The proposed Office designation promote the retention and expansion of existing businesses and attraction of new businesses. It will allow the existing use to expand and broaden the opportunity for future redevelopment

The attached narrative provided by the applicant offers additional reasons why the proposed land use amendment is appropriate.

### *High Density Residential*

The same reasons that make this site appropriate for the Office land use designation make it difficult to develop as high density residential. The parcel's shape, size and the high density

residential development standards limits the development potential. Even though the site is bounded by a city park on one side, it is across the street from property that has a General Commercial land use designation that includes a large lumber yard. The proximity to the commercial uses decreases its desirability as a high density housing site.

### **RECOMMENDATION**

In Planning Case 16-18, the Planning Commission recommend approval of the amendment to the City's Comprehensive Land Use Plan to change the land use designation from High Density Residential to Office, based on the following:

1. The proposed comprehensive land use amendment is compatible with the adjacent comprehensive land use designations and land uses.
2. The proposed comprehensive land use amendment will not have an adverse impact on the adjacent properties.
3. The proposed comprehensive land use amendment is supportive of the Comprehensive Land Use Plan Land Use Chapter's goals for the City, including maintaining a complete and balanced neighborhood by including a variety of supporting commercial development and maintaining a climate that encourages redevelopment and ongoing business activity.

---

### **Attachments**

Location Map

Land Use Map

Survey

Site Plan

Applicant's Narrative

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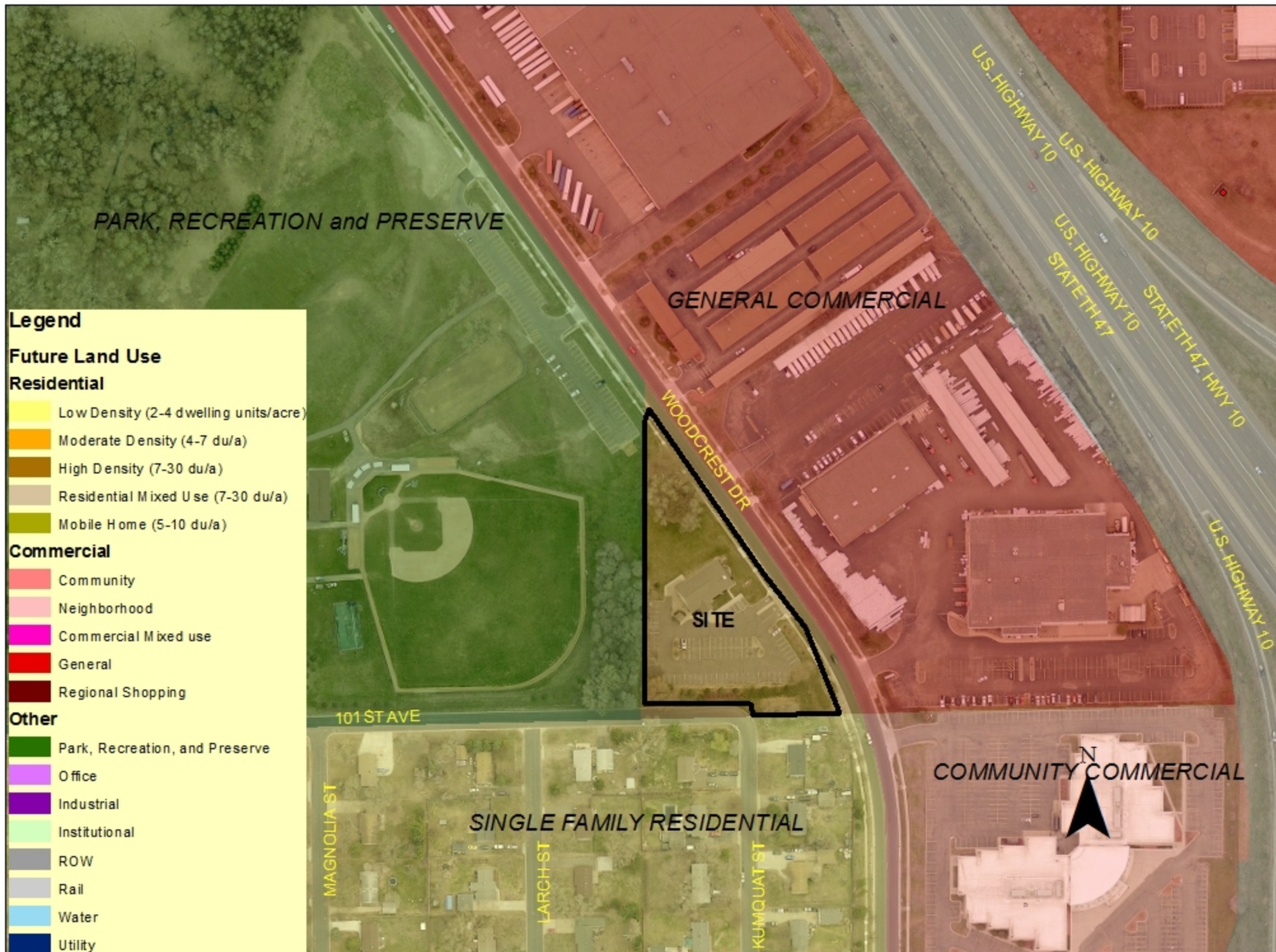


# Location Map



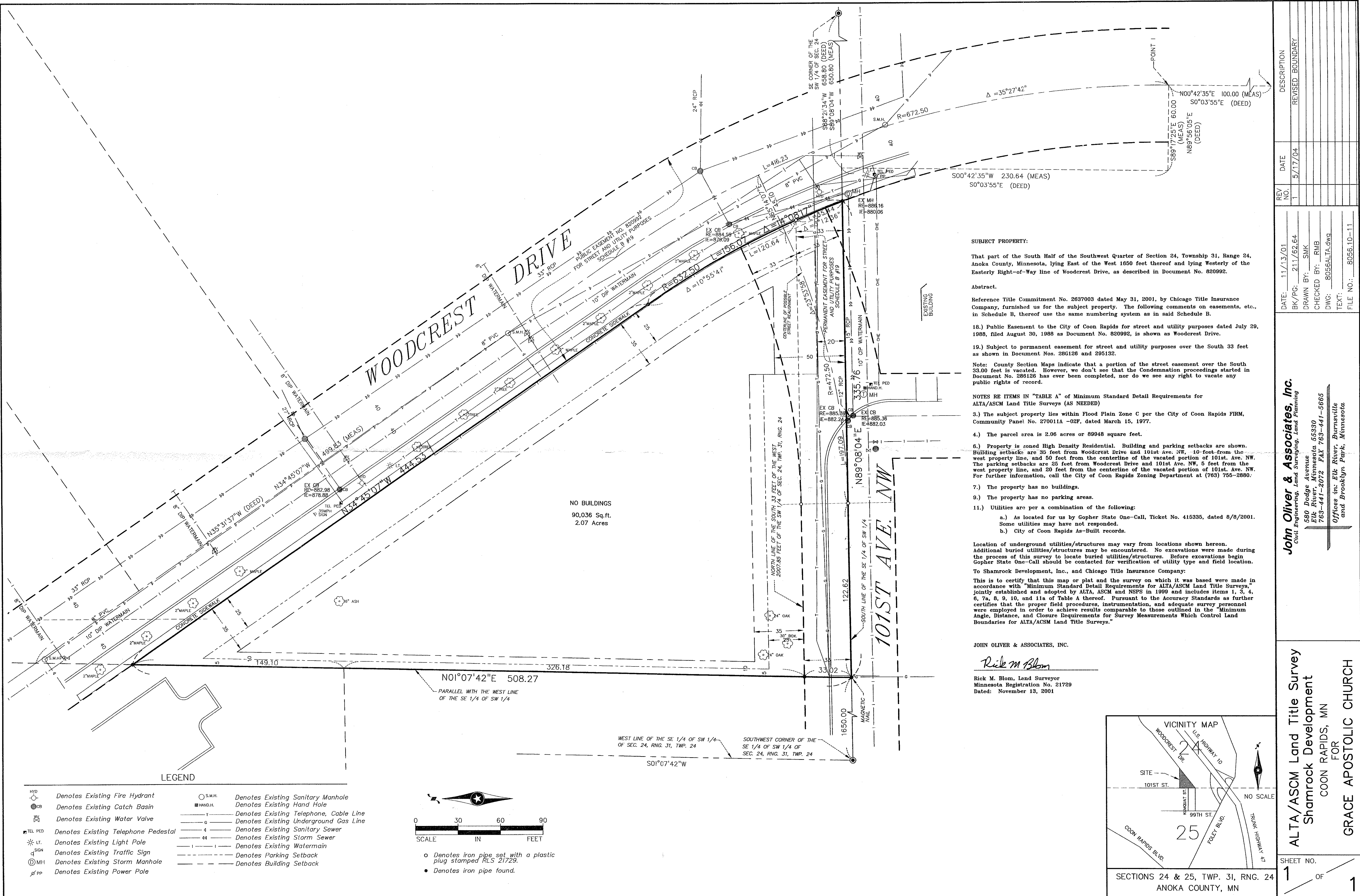


## Land Use Map

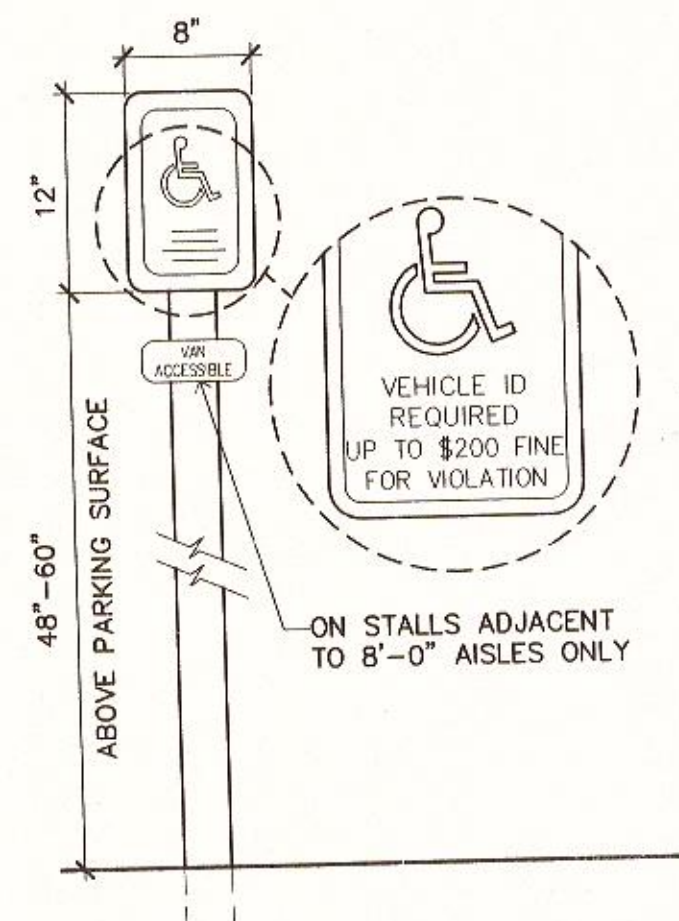




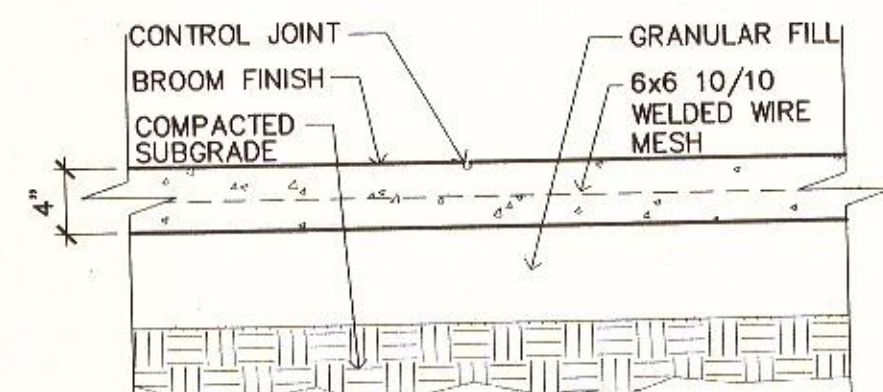
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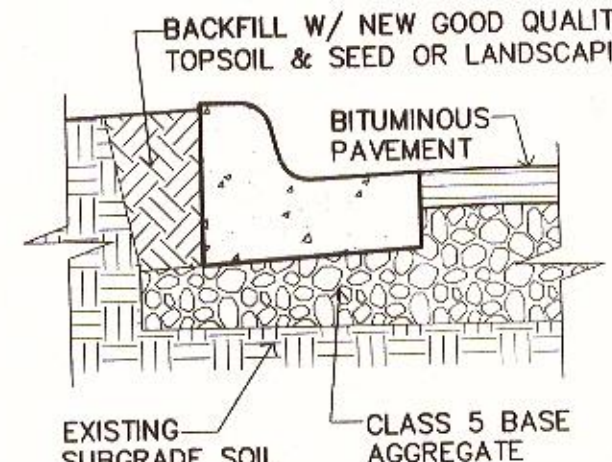


4 ACCESSIBLE PARKING SIGN  
SCALE: 1" = 1'-0"

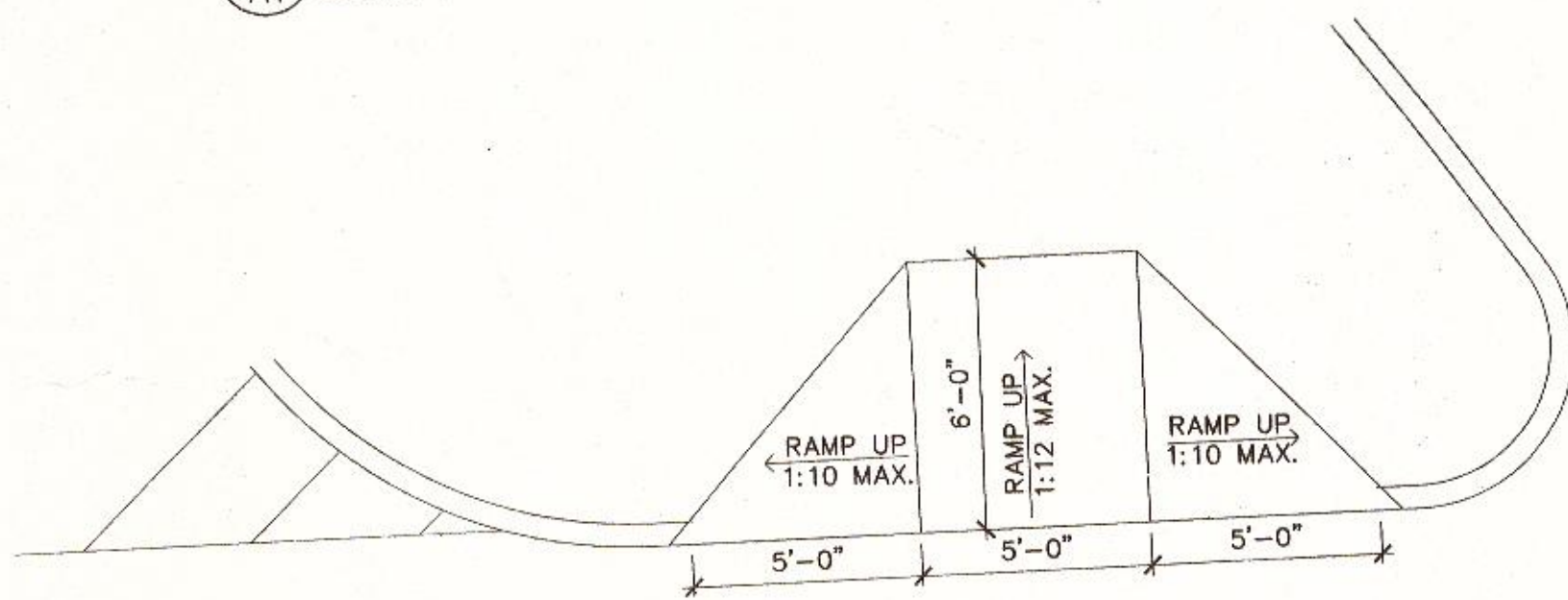


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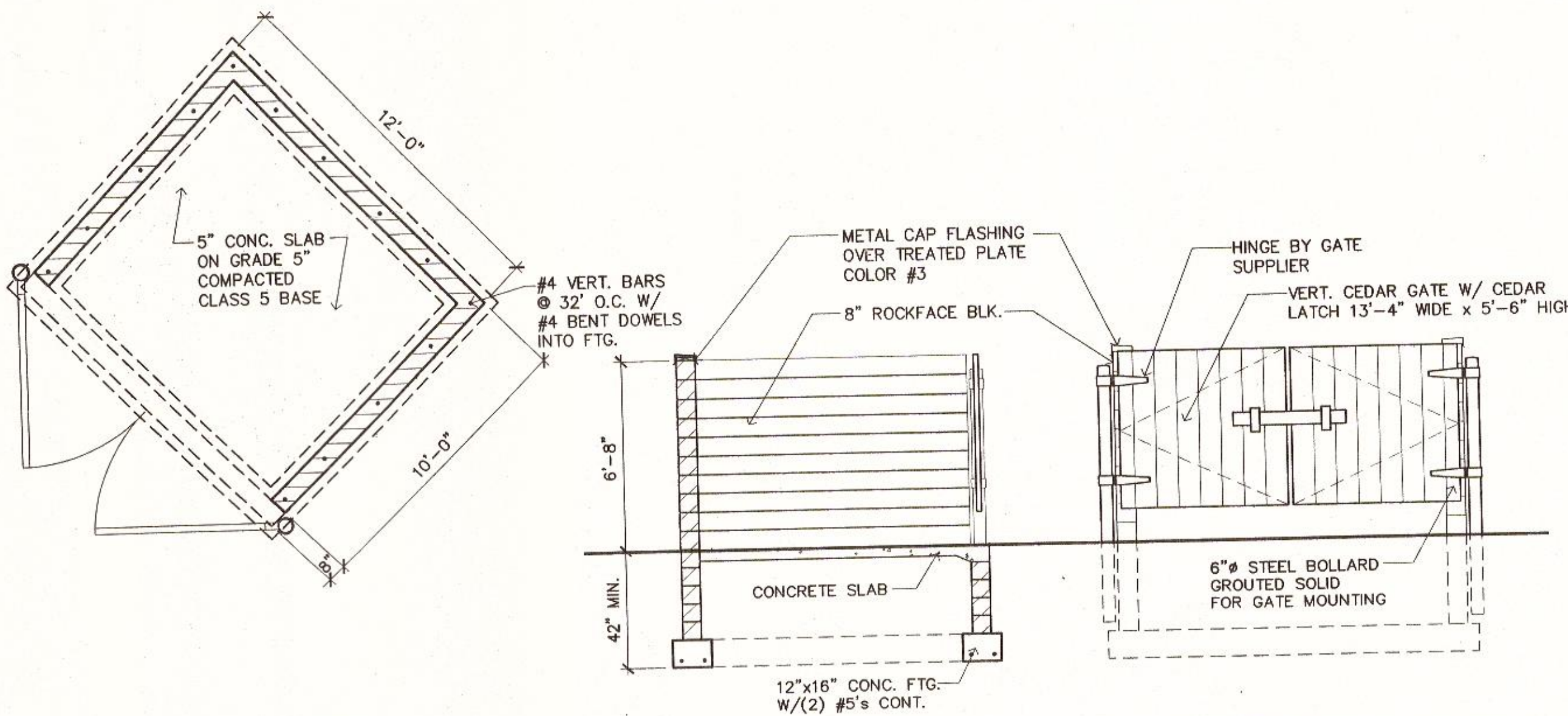
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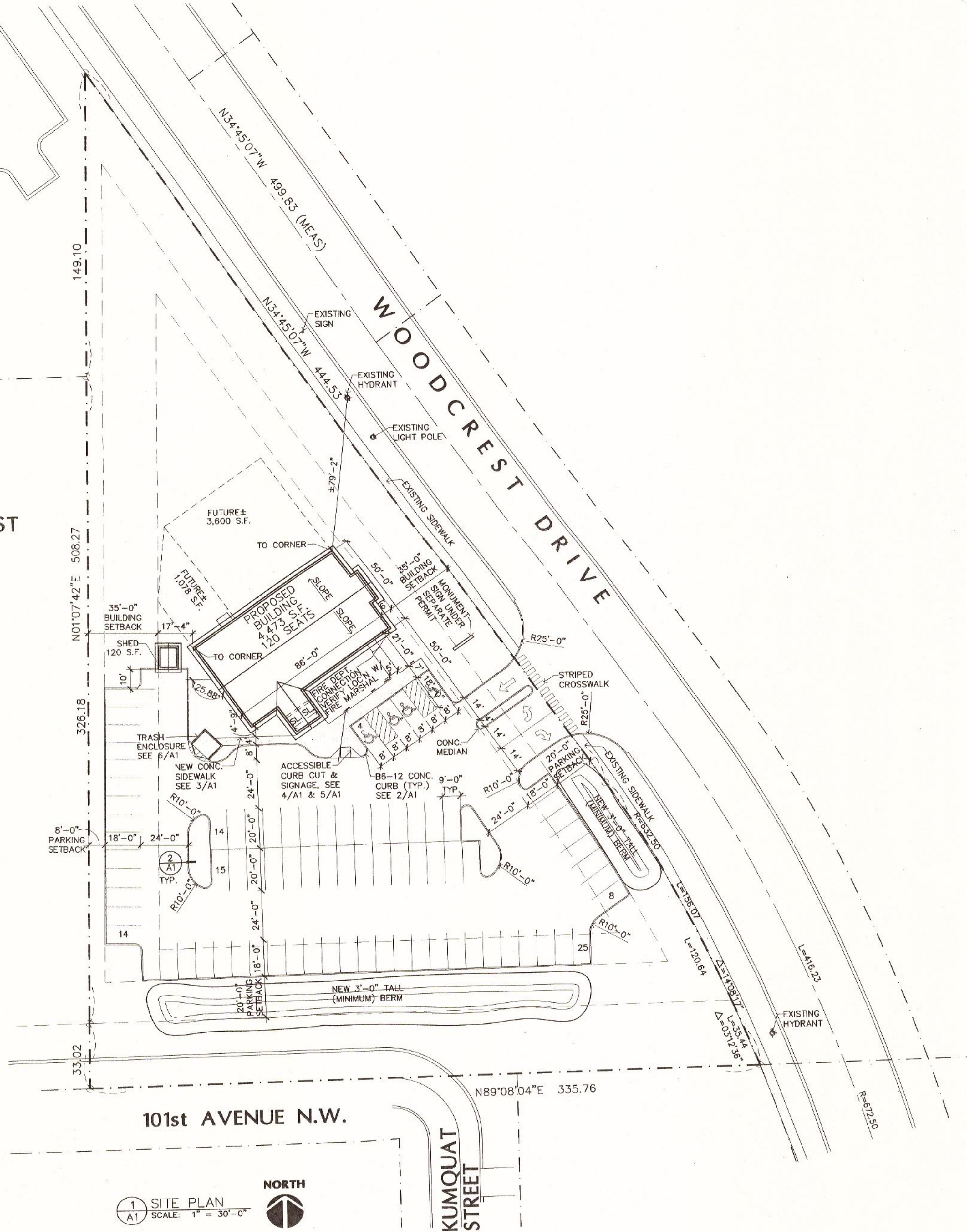


5 ACCESSIBLE CURB CUT  
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6 TRASH ENCLOSURE DETAIL  
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# WINTERCREST PARK



1 SITE PLAN  
SCALE: 1" = 30'-0"



ARCHITECT CERTIFICATION:  
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE  
LEONARD LAMPERT  
PRINT NAME  
13669  
DATE: 8/2/04

## Proposed Building For SPIRIT OF GRACE CHURCH Coon Rapids, Minnesota

Copyright 2004  
Leonard Lampert Architects, P.A.

Project Designer: Keith B.  
Drawn By: KMB  
Checked By: LL, LML

| Revisions |              |
|-----------|--------------|
| 3/5/04    | PRELIMINARY  |
| 4/15/04   | PRELIMINARY  |
| 4/26/04   | PRELIMINARY  |
| 6/02/04   | PRELIMINARY  |
| 6/07/04   | CITY SUBMITT |
| 7/21/04   | FINAL REVIEW |
| 8/02/04   | ISSUED FOR   |





## Zone Change Narrative

### Spirit of Grace Church

10110 Woodcrest Drive NW

Spirit of Grace Church purchased the land located at 10110 Woodcrest Drive Northwest in December of 2001. In October of 2004 they began to build their church on this property. With much excitement and anticipation, the congregation moved into the new building in the spring of 2005. Since then, Spirit of Grace has continued to grow and is currently looking to expand their building on this site.

The property is currently zoned High Density Residential and the existing conditions are almost meeting the 50 % impervious factor. Therefore, the new addition would exceed this site requirement. Spirit of Grace Church is requesting a change in the Zoning Classification to be Commercial / Office district. Directly to the east are numerous properties classified as Commercial / Office district, therefore it seems reasonable to consider this property to be re-zoned. With the re-zone, Spirit of Grace would be able to accommodate a new addition and meet the 40% building coverage requirement as set forth in the Commercial /Office District.

As described in the City Code, the High Density Residential district is intended to provide housing at high densities and at the same time offer amenities for individual and family living. Due to the size and shape of this site, it would be very difficult to construct a multi-family dwelling including townhomes or apartments.

### A description of how the request is consistent with the comprehensive plan

*Spirit of Grace is requesting a Comprehensive Plan Land Use change from High Density Residential to Office. According to the Future Land Use Categories, **High Density Residential** is listed as multi-family housing, including apartment buildings and condominiums, at a gross density of 7 to 30 units per acre. **Office** is predominantly administrative, professional, or clerical services, including medical clinics. May include limited commercial uses generally compatible with adjacent residential uses. A religious building would be compatible with this group.*



***Goal #1 – Maintain complete and balanced neighborhoods that include a variety of house resources, supporting commercial development, and adequate open space and recreation opportunities.***

Spirit of Grace will preserve the integrity of the current neighborhood as it will continue to function as a church. An addition to the building would provide opportunity for community outreach.

***Goal #2 – Maintain a diversified economic base and a climate that encourages economic development, redevelopment, and ongoing business activity.***

Spirit of Grace will bring hundreds of people each and every Sunday morning to this area who will potentially eat at area restaurants, buy gas and spend money in this area supporting the surrounding community.

***Goal #3 – Protect and enhance the City's natural resources for the community's long-term benefit.***

Spirit of Grace sits directly adjacent to Wintercrest Park and values the amenities associated with the park.

***Goal #4 – Maintain community character and ensure top-quality appearance of new development.***

The addition and re-model to the Spirit of Grace Church is intended to create an updated appearance that will be compatible with the surrounding area.

***Goal #5 – Provide distinctive commercial districts that serve neighborhood, community, and regional consumers.***

Spirit of Grace will provide high aesthetic quality with the new addition.

***Goal #6 – Improve the appearance and function of Coon Rapids Boulevard, ensuring that it gradually redevelops with a variety of housing types, supporting commercial uses, and urban design amenities.***

Spirit of Grace is not located on or directly adjacent to Coon Rapids Boulevard therefore this item does not apply.

***Goal #7 – Eliminate blighting influences throughout the City and encourage redevelopment of underutilized land.***

By adding to the existing building Spirit of Grace would have the ability to re-develop their existing building to better meet their ministry needs as well as an addition to best serve the community.



#### **Current land use designation and zoning classification of subject property.**

The property is currently zoned **High Density Residential**.

#### **Current land use designation and zoning classification of properties within 350 feet.**

The current land use designation is High Density Residential and the adjacent properties within 350 feet are zoned as follows. Directly west is Wintercrest Park and is zoned **Conservancy**. Directly south is **Low Density Residential 2**. The property south east is the AMC Coon Rapids Movie Theater and is zoned **Community Commercial**. The properties to the east is zoned **General Commercial**.

#### **Existing land uses on subject property**

The existing land use for this property is **Institutional**.

#### **Existing land uses of properties within 350 feet**

The existing land use designation is Institutional and the adjacent properties within 350 feet are zoned as follows. Directly west is Wintercrest Park and is considered **Park, Recreational or Preserve**. Directly south is **Single Family Residential**. The property south east is the AMC Coon Rapids Movie Theater and is zoned **Retail and Other Commercial**. The properties to the east is zoned **Retail and Other Commercial**.

#### **Comprehensive Plan Future land use on subject property**

The future land use designated for this property is **High Density Residential**. Spirit of Grace is requesting the Comprehensive Plan Change to be **Office**.



## **Planning Commission Regular**

3.

**Meeting Date:** 08/18/2016

**Subject:** PC 16-19 Zone Change, Vanman Architects, 10110 Woodcrest Drive (Spirit of Grace Church)

**From:** Scott Harlicker, Planner

---

### **INTRODUCTION**

The applicant is requesting a zone change to change the zoning of certain property from High Density Residential to Office. The applicant is also proposing a corresponding land use amendment to Office.

### **ACTIONS**

Conduct a public hearing

Recommendation by Planning Commission

Introduction by City Council on: September 6

### **60 DAY RULE**

The applicant submitted this application on: July 7

To comply with the requirements of Minnesota Statute §15.99, the City extended the 60 day period to November 4, 2016

### **LOCATION**

The property is located at 10110 Woodcrest Drive

|                         | Existing Use             | Comprehensive Plan            | Zoning                    |
|-------------------------|--------------------------|-------------------------------|---------------------------|
| <b>Subject Property</b> | Church                   | High Density Residential      | High Density Residential  |
| <b>North</b>            | City park                | Park, Recreation and Preserve | Conservancy               |
| <b>South</b>            | Single Family Residences | Low Density Residential       | Low Density Residential 2 |
| <b>East</b>             | Lumber yard              | General Commercial            | General Commercial        |
| <b>West</b>             | City park                | Park, Recreation and Preserve | Conservancy               |

### **DISCUSSION**

## Background

The applicant is requesting a zone change from High Density Residential to Office. The site is currently home to Spirit of Grace Church. The site is approximately two acres in size. It is bounded by Woodcrest Park on the north and west, Woodcrest Drive and a lumber yard on the east and 101st Avenue and single family residences on the south.

Spirit of Grace Church was granted a conditional use permit in 2001. The property at that time was zoned and guided High Density Residential. In July 2004 the site plan for the church was approved. When the church purchased the site there was no need to rezone it because churches were a conditional use in the High Density Residential district. The church was also able to comply with the development criteria for that district. Since that time, the church's membership has grown as had the need for additional space. The 50% impervious surface coverage in the High Density Residential district does not allow them to expand. The lot coverage requirement in the Office district is measured differently, it is based only on building coverage and does not include parking and driveways.

The property has been zoned High Density Residential since 1985. At that time most of the adjacent park and the property along Highway 10 was also zoned High Density Residential. In 1986 the area between Woodcrest Drive and Highway 10 was rezoned to General Commercial. The property west of Woodcrest remained High Density Residential. In 1987 the City, as part of a land swap, received what is now the southern part of Woodcrest Park. The new parkland was rezoned from High Density Residential to Conservancy. The subject parcel was not included in the swap and was left as High Density Residential.

## Analysis

The stated intent of the Office zoning district is to buffer residential districts from arterial streets or from General and Community Commercial districts and is generally compatible with adjacent residential uses. The intent of the High Density Residential designation is to provide housing at high densities and at the same time offer amenities for individual family living.

### *Proposed Office*

The proposed Office zoning better reflects the the current use of the property and and potential reuse of the site. Because of its size, the parcel is triangular shaped and is two acres in size, the current and future uses will likely be institutional or a small office. Both of which fall within the intent of the Office zoning dsitric. The site provides a buffer between the adjacent single family neighborhood and the General Commercial district on Woodcrest Drive.

### ***Compatibility with the Comprehensive Plan***

The proposed zone change is consistent with the following goals of the Comprehensive Plan:

1. It will maintain a complete and balanced neighborhood by including a variety of supporting commercial development. The proposed Office designation will offer opportunities supporting commercial/office and institutional uses.
2. Maintain a climate that encourages redevelopment and ongoing business activity. The



proposed Office designation promote the retention and expansion of existing businesses and attraction of new businesses. It will allow the existing use to expand and broaden the opportunity for future redevelopment

The attached narrative provided by the applicant offers additional reasons why the proposed zone change is appropriate.

### *High Density Residential*

The same reasons that make this site appropriate for the Office zoning district make it difficult to develop as high density residential. The parcel's shape, size and the high density residential development standards limits the development potential. Even though the site is bounded by a city park on one side, it is across the street from a General Commercial that includes a large lumber yard. The proximity to the commercial uses decreases it's desirability as a high density housing site.

### **RECOMMENDATION**

In Planning Case 16-19, the Planning Commission recommend approval of the proposed zone change based on the following findings:

1. The proposed rezoning to Office is consistent with the land use designation of Office.
2. The proposed rezoning is compatible with the adjacent land uses and zoning.
3. The times and conditions have change so that a reasonable use of the property can not be made under the current zoning.
4. The proposed zone change would not have an adverse impact on the area.

---

### **Attachments**

Location Map

Zoning map

Survey of Property

Site Plan

Applicant's Narrative

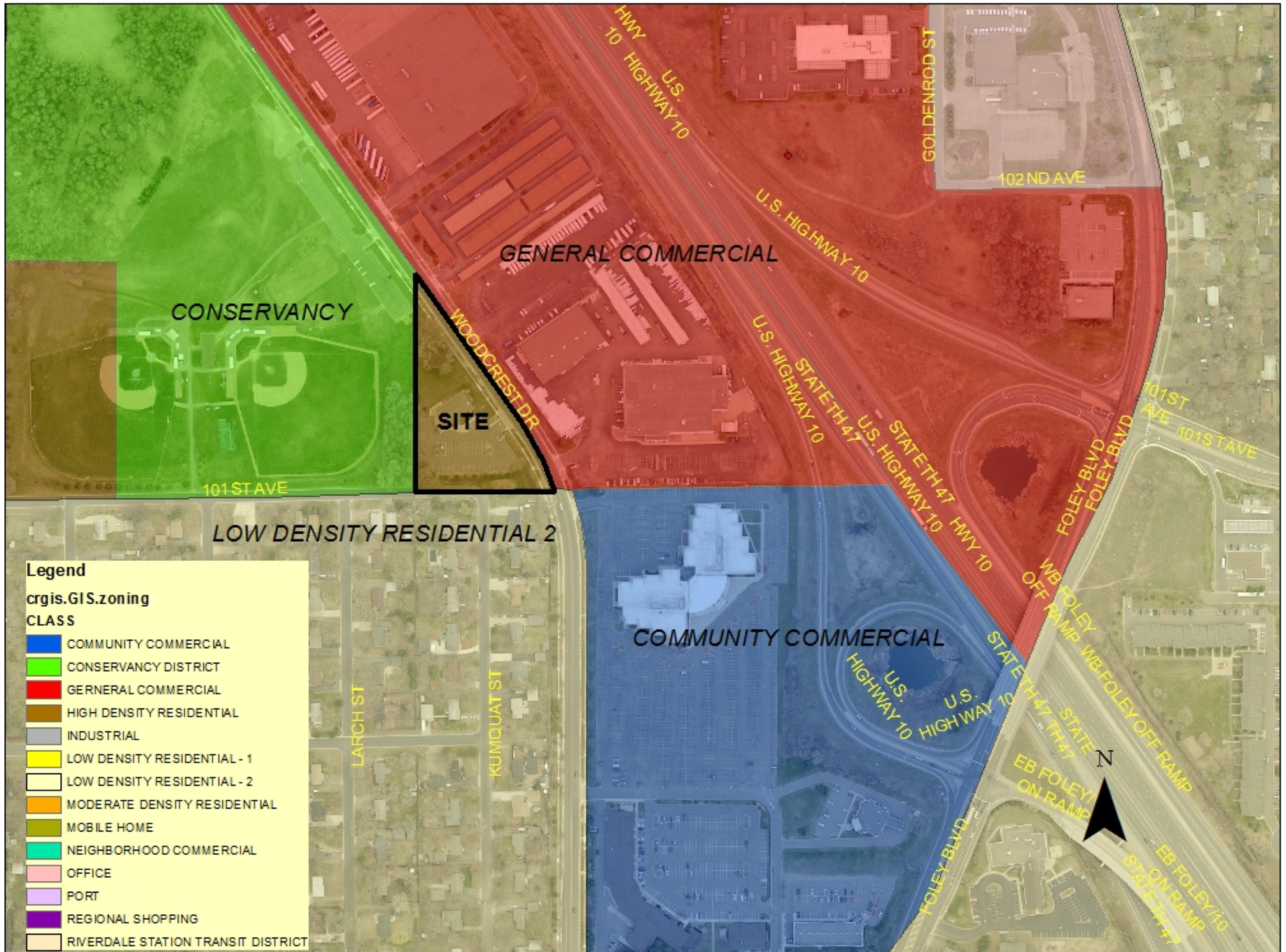
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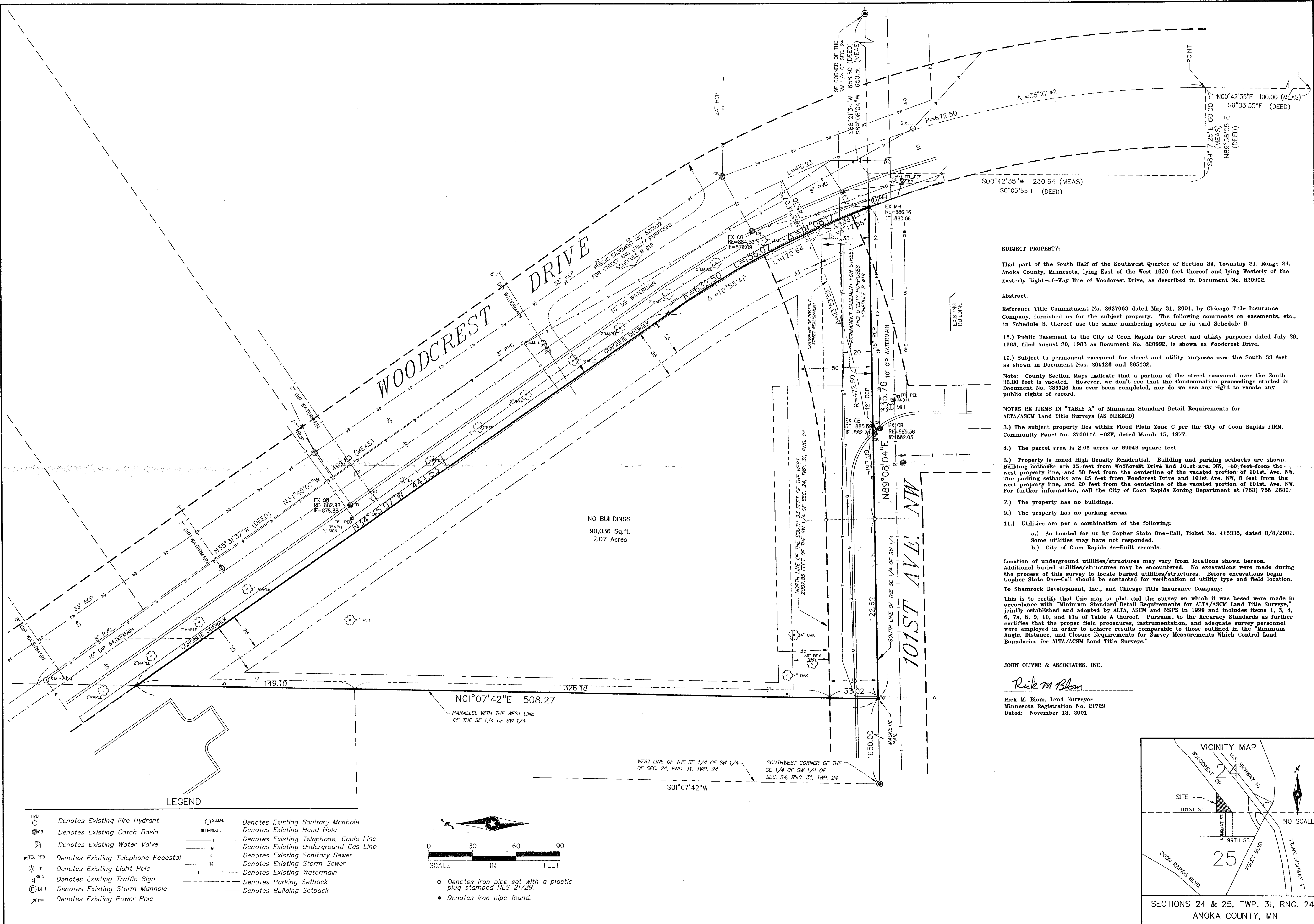


# Zoning Map





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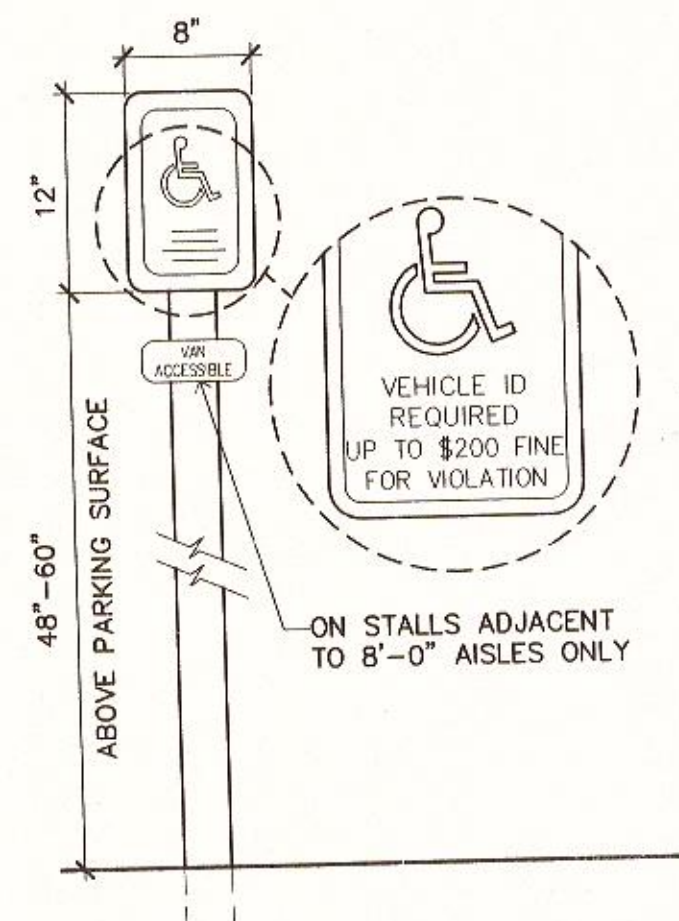


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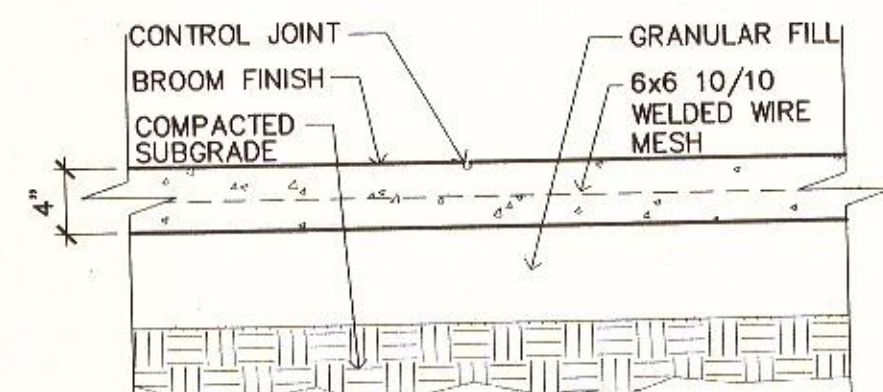
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| CHECKED BY: | RMB          |
| DWG:        | 8056ALTA.dwg |
| TEXT:       |              |
| FILE NO.:   | 8056.10-11   |

|   |
|---|
| <b>John Oliver &amp; Associates, Inc.</b><br>Civil Engineering, Land Surveying, Land Planning<br>560 Dodge Avenue<br>216 River, Minnesota 55330<br>763-441-2072 FAX 763-441-5665<br>Offices in: Elk River, Burnsville<br>and Brooklyn Park, Minnesota |
| <b>ALTA/ASCM Land Title Survey</b><br>Shamrock Development<br>COON RAPIDS, MN<br>FOR<br>GRACE APOSTOLIC CHURCH  |
| SHEET NO.<br>1 OF 1   |



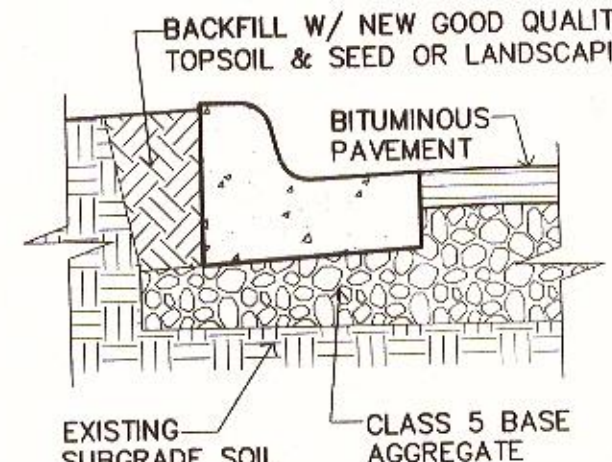


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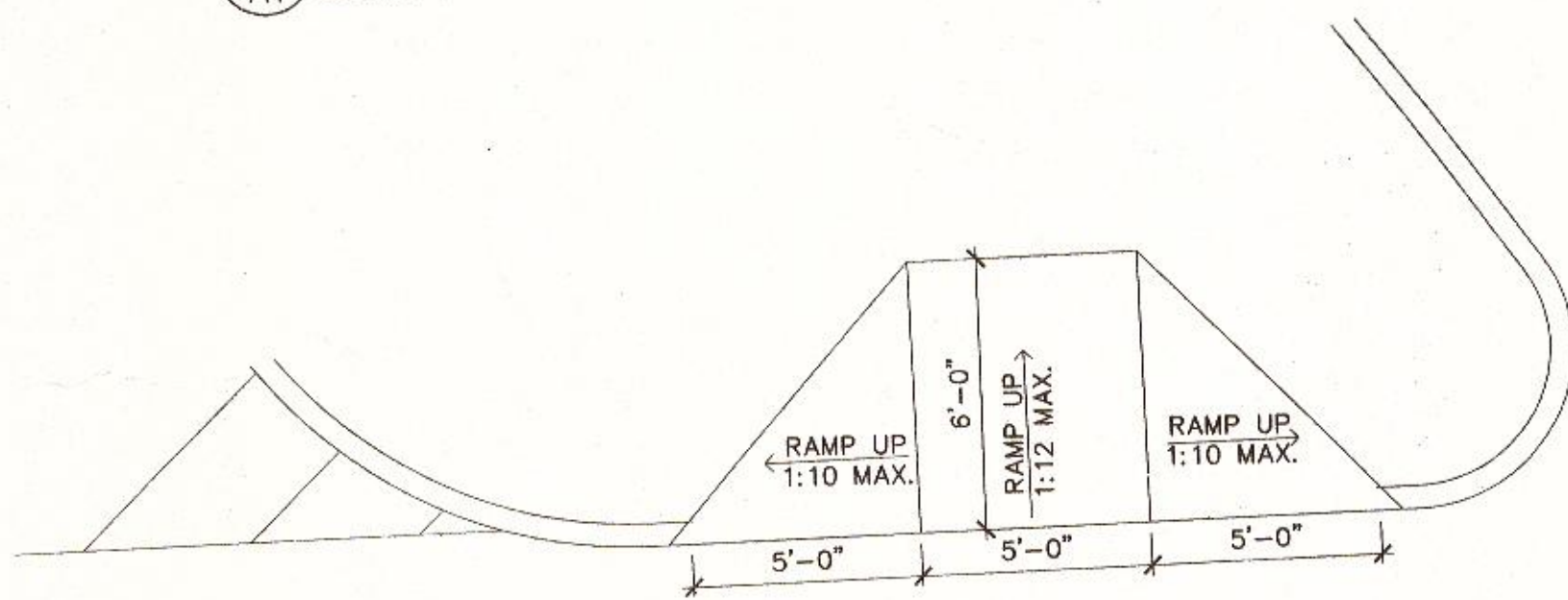


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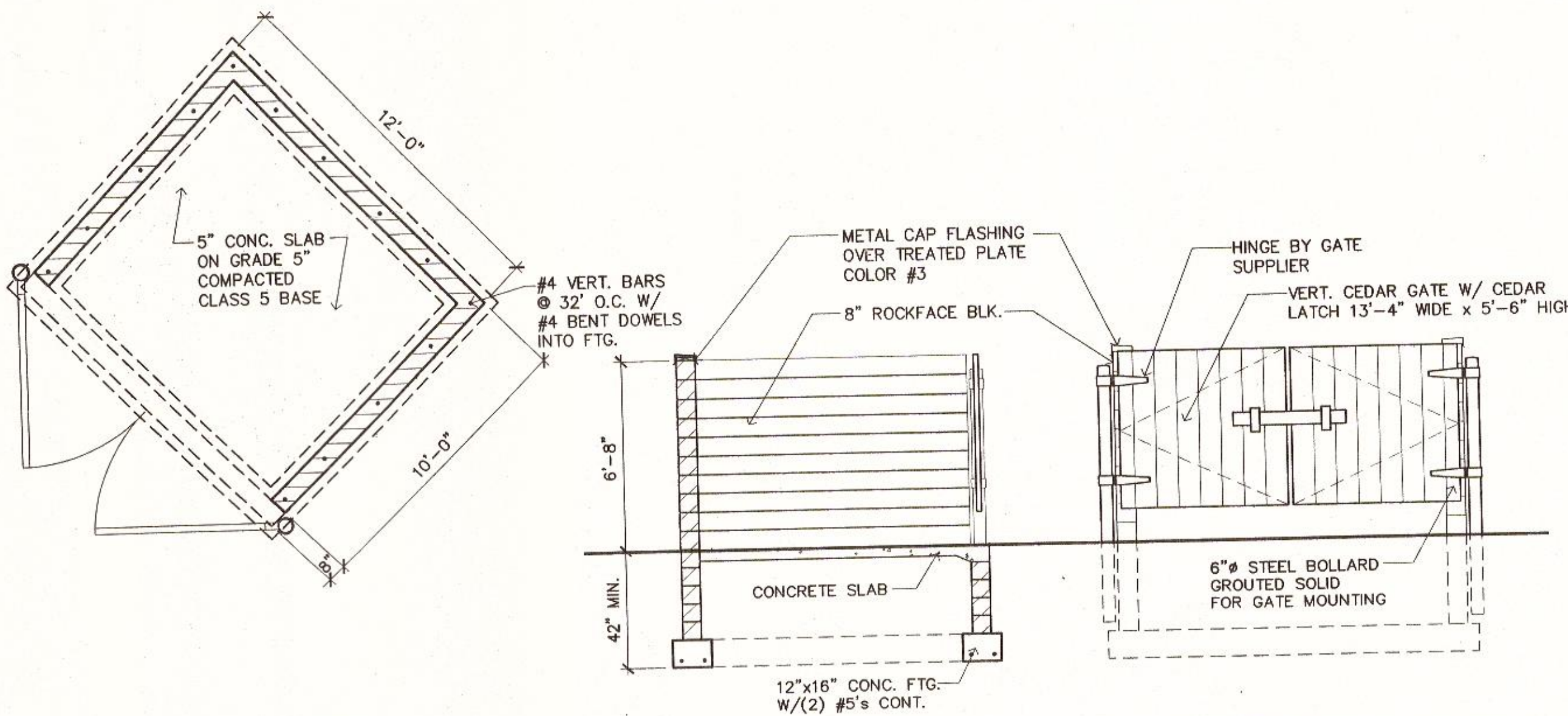
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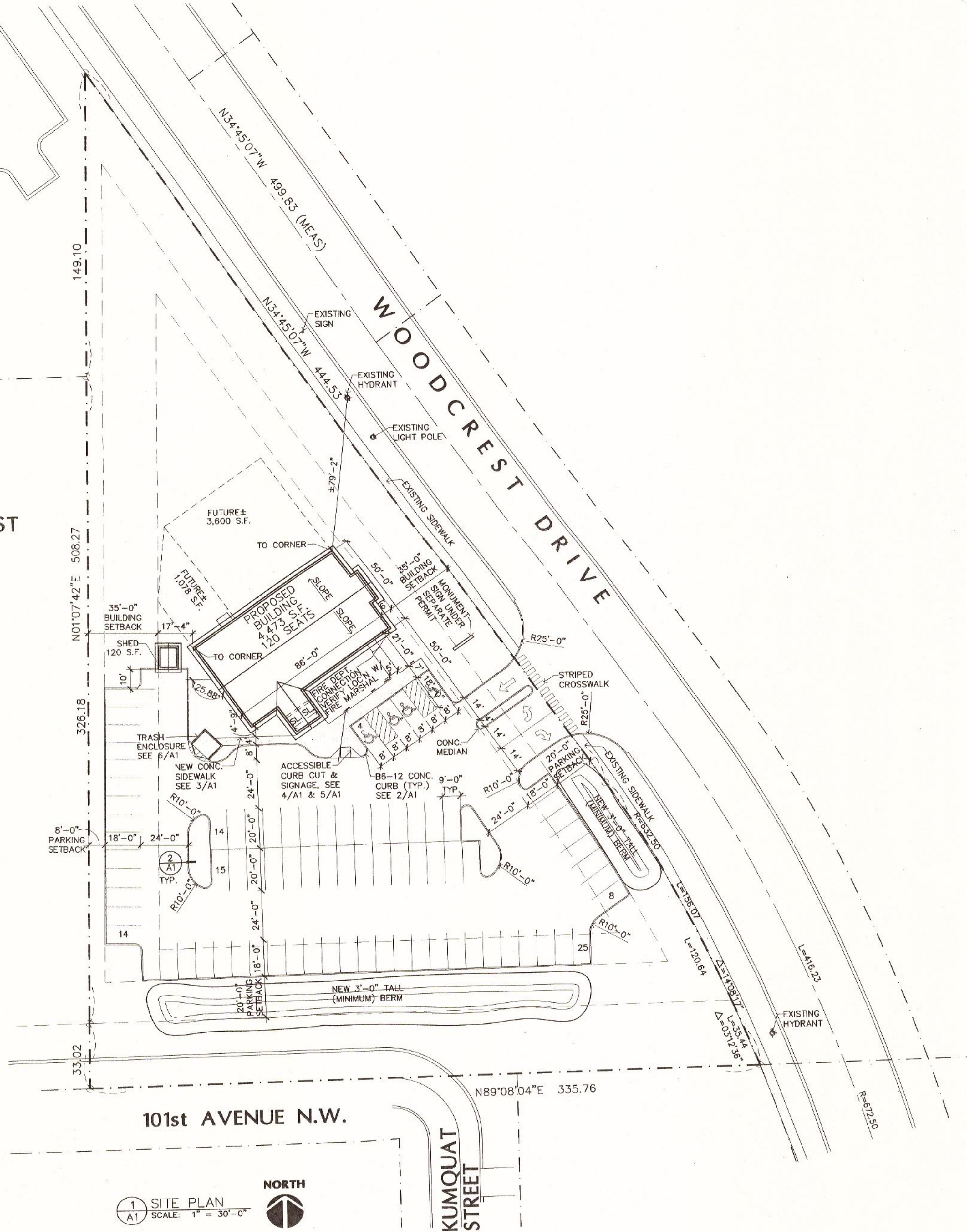


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6 TRASH ENCLOSURE DETAIL  
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# WINTERCREST PARK



1 SITE PLAN  
SCALE: 1" = 30'-0"

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SIGNATURE  
LEONARD LAMPERT  
PRINT NAME  
13669  
DATE: 8/2/04

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Project Designer: Keith B.  
Drawn By: KMB  
Checked By: LL, LML

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#### **Current land use designation and zoning classification of subject property.**

The property is currently zoned **High Density Residential**.

#### **Current land use designation and zoning classification of properties within 350 feet.**

The current land use designation is High Density Residential and the adjacent properties within 350 feet are zoned as follows. Directly west is Wintercrest Park and is zoned **Conservancy**. Directly south is **Low Density Residential 2**. The property south east is the AMC Coon Rapids Movie Theater and is zoned **Community Commercial**. The properties to the east is zoned **General Commercial**.

#### **Existing land uses on subject property**

The existing land use for this property is **Institutional**.

#### **Existing land uses of properties within 350 feet**

The existing land use designation is Institutional and the adjacent properties within 350 feet are zoned as follows. Directly west is Wintercrest Park and is considered **Park, Recreational or Preserve**. Directly south is **Single Family Residential**. The property south east is the AMC Coon Rapids Movie Theater and is zoned **Retail and Other Commercial**. The properties to the east is zoned **Retail and Other Commercial**.

#### **Comprehensive Plan Future land use on subject property**

The future land use designated for this property is **High Density Residential**. Spirit of Grace is requesting the Comprehensive Plan Change to be **Office**.





## **Planning Commission Regular**

4.

**Meeting Date:** 08/18/2016

**Subject:** PC 16-20 Land Use Amendment, Local Oil Company of Anoka, 2437, 2423 and 2405 Coon Rapids Boulevard

**From:** Scott Harlicker, Planner

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### **INTRODUCTION**

The applicant is requesting a land use amendment to change the land use designation of three properties from Office to General Commercial. The applicant is also proposing a corresponding zone change to General Commercial.

### **ACTIONS**

Conduct of public hearing  
Recommendation by Planning Commission  
Decision City Council on: September 20

### **60 DAY RULE**

The applicant submitted this application on: July 11

To comply with the requirements of Minnesota Statute §15.99, the City extended the 60 day period to November 8, 2016

### **LOCATION**

The properties are 2423 and 2437 Coon Rapids Boulevard.

|                           | Existing Use                                  | Comprehensive Plan       | Zoning                                  |
|---------------------------|---|--------------------------|---|
| <b>Subject Properties</b> | Commercial Building and an Accounting Office. | Office                   | Office/River Rapids Overlay             |
| <b>North</b>              | Apartments                                    | High Density Residential | High Density Residential                |
| <b>South</b>              | Coon Rapids Boulevard                         | N/A                      | N/A                                     |
| <b>East</b>               | Commercial Building                           | Office                   | Office/River Rapids Overlay             |
| <b>West</b>               | Restaurant                                    | General Commercial       | General Commercial/River Rapids Overlay |

### **DISCUSSION**

## Background

The applicant is requesting a change to the land use designation from Office to General Commercial. The proposal includes three lots.

### 2437 Coon Rapids Boulevard

This property is 30,000 square feet (.68 acres) and includes a 3500 square foot building. The building is currently fully occupied by the owner, an accounting company. The structure has been modified over the years. The most recent modification was a second floor addition and parking lot expansion in 1985. The property has had a land use designation of Office since 1980.

### 2423 and 2405 Coon Rapids

These properties are 47,636 square feet ( 1.1 acre) and includes a 16,200 square foot building. The building is currently partially occupied (one tenant leases about 1/3 of the building) The property was granted a CUP for a 9700 square foot furniture store in 1995; in 1997 the owner received approval for a 6500 square foot addition. These properties have also had a land use designation of Office since 1980.

## *Adjacent Land Uses*

Adjacent land use include a restaurant to the west, apartments and a single family residence on the north, an office building on the east and Coon Rapids Boulevard on the south.

## Analysis

The description of the Office land use designation is predominantly administrative, professional or clerical services including medical clinics. It may include limited commercial uses generally compatible with adjacent residential uses. The description of the General Commercial land use designation is a broad range of businesses, generally highway oriented, serving other businesses and City residents and requiring buffering from surrounding residential areas.

## *Proposed General Commercial*

The proposed General Commercial land use designation better reflects the the current use of the property and and potential reuse of the site. This site sits along one of the most heavily traveled corridors in the city. The site is buffered from the apartments and the single family home to the north by the existing garages and by a wooded area. Changing the land use designation of these parcels to General Commercial is an extension of the existing General Commercial district to the west. The applicant is not proposing any changes to the site. The proposed land use designation and will allow better utilization of the buildings.

## ***Compatibility with the Comprehensive Plan***

### *Goal of improving the appearance and function of Coon Rapids Boulevard*

One of the ongoing discussions relating to the Boulevard is how does the City improve it's commercial vitality. This proposed land use amendment from Office to General Commercial

would lay the groundwork for the revitalization of these sites. It would allow a more variety of uses.

*Objective to curb the blighting characteristics along the Boulevard and eliminate under utilized and obsolete land uses*

By changing the land use designation to General Commercial, this under utilized site can be in a position to be an asset to the Boulevard.

### ***Compatibility with the Coon Rapids Boulevard Framework Plan***

The Framework calls out for the revitalization of obsolete, vacant and weak areas. By changing the land use designation to General Commercial, this site would be more attractive for potential users.

## **RECOMMENDATION**

In Planning Case 16-20, the Planning Commission recommend approval of the proposed land use amendment based on the following findings:

1. The proposed amendment is consistent with the Comprehensive Plan in that it promotes the improved appearance and function of Coon Rapids Boulevard and will promote the revitalization of an underutilized site.
2. The proposed land use amendment is compatible with the surrounding land use designations and land uses.
3. The proposed land use amendment would not have an adverse impact on the area.
4. The parcel fronts on a Coon Rapids Boulevard, which is a Class A Arterial Street.

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## **Attachments**

Location Map

Land Use Map

Applicant's Narrative

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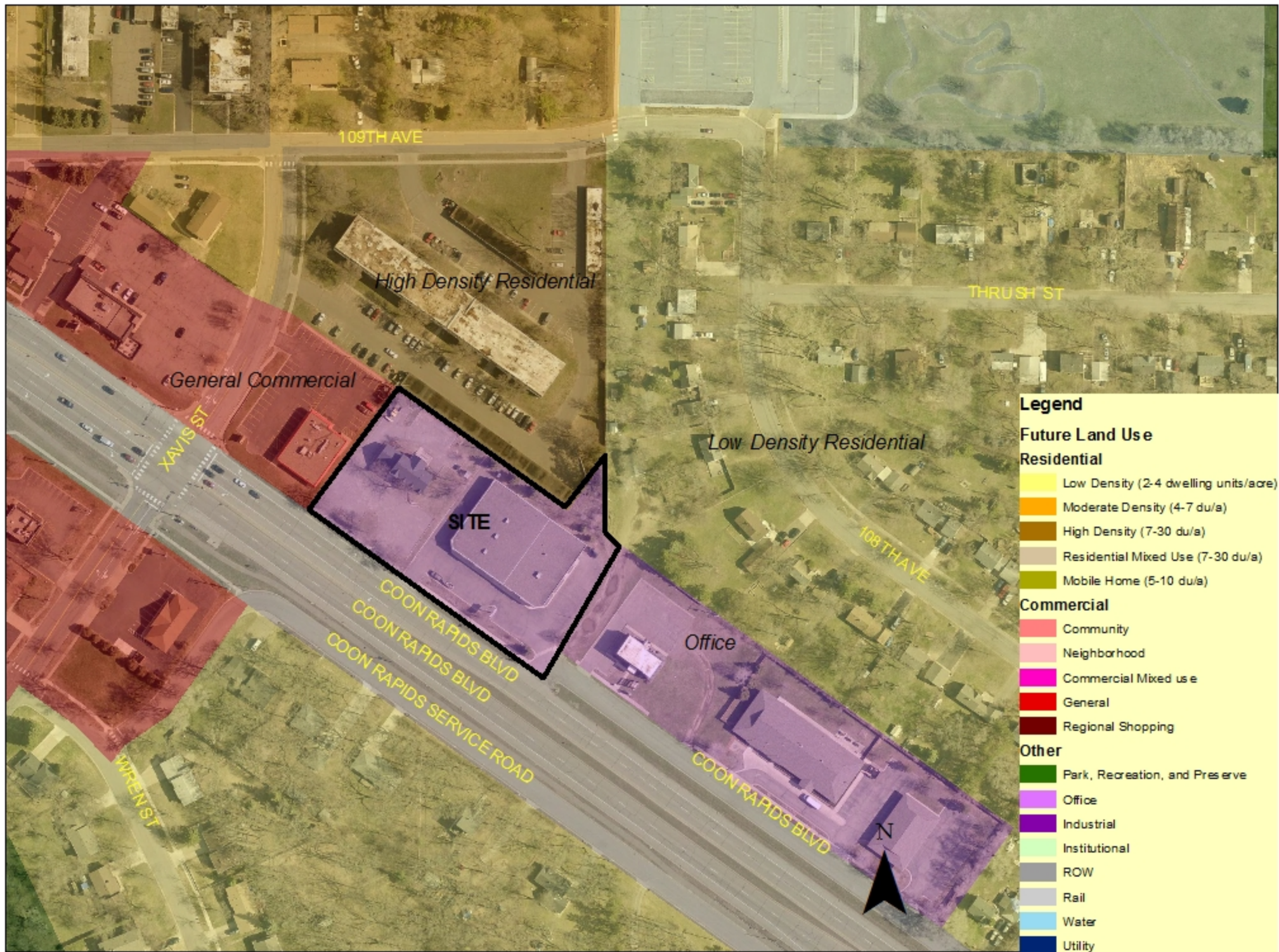


# Location Map





# Land Use Map



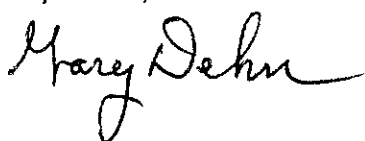
## EXPLANATION FOR ZONING CHANGE REQUEST

This zoning change request is based largely on the issue that the property was never properly classified in the first place. The building is 16,200 square feet and has always been used as a retail store. Office zoning does not allow retail of over 15,000 square feet. When we purchased this property in 2009 it had two tenants, one was a carpet store and the other a furniture store. This was an investment property and was purchased under the assumption the use must be permissible. We have struggled for several years now with over one half of the building being empty. I am an owner but also a Commercial Real Estate Agent and have pushed as hard as I can to gain a new tenant. I have not had one potential office user inquire about this rental spot. All inquiries have needed a General Commercial zoning. I have worked on the assumption this building must have been grandfathered in but many tenants have passed knowing to change the zoning and be safe for their use of the space, would take some time and so moved on. I cannot afford to move forward any longer in this situation. The one tenant covers most of my loan payment but that leaves \$40,000 per year for taxes and overhead which is a big lose as we go farther into debt. The building was built for the uses that fit in the General Commercial Districts. We are only one property away the other General Commercial properties. It is consistent with the similar uses in the area and would fit the comprehensive plan. It makes sense to continue the General Commercial zoning from the Pizza Hut property to ours. To our rear is a large apartment complex and a large parking garage buffers us from it. It is critical to the success of this property to be changed to General Commercial zoning and to our peace of mind so that we are not always concerned about being in violation for having a tenant that has an unpermitted use renting from us. I have offices on both sides of our property and someday I may have the opportunity to rent to a larger office user but for now we need a larger scope of uses to fit the times and conditions.

Thank you,

Local Oil Co. of Anoka, Inc.

Gary Dehn, Owner

A handwritten signature in black ink, appearing to read "Gary Dehn", with a stylized, cursive script.





## **Planning Commission Regular**

5.

**Meeting Date:** 08/18/2016

**Subject:** PC 16-21 Zone Change, Local Oil Company of Anoka, 2437, 2423 and 2405 Coon Rapids Boulevard

**From:** Scott Harlicker, Planner

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### **INTRODUCTION**

The applicant is requesting a zone change to change the zoning of three properties from Office and High Density Residential to General Commercial. The applicant is also proposing a corresponding land use amendment to General Commercial.

### **ACTIONS**

Conduct a public hearing

Recommendation by Planning Commission

Introduction by City Council on: September 6

### **60 DAY RULE**

The applicant submitted this application on: July 11

To comply with the requirements of Minnesota Statute §15.99, the City extended the 60 day period to November 8, 2016

### **LOCATION**

The properties are 2423 and 2437 Coon Rapids Boulevard.

|                           | Existing Use                                  | Comprehensive Plan       | Zoning                                  |
|---------------------------|---|--------------------------|---|
| <b>Subject Properties</b> | Commercial Building and an Accounting Office. | Office                   | Office/River Rapids Overlay             |
| <b>North</b>              | Apartments                                    | High Density Residential | High Density Residential                |
| <b>South</b>              | Coon Rapids Boulevard                         | N/A                      | N/A                                     |
| <b>East</b>               | Commercial Building                           | Office                   | Office/River Rapids Overlay             |
| <b>West</b>               | Restaurant                                    | General Commercial       | General Commercial/River Rapids Overlay |

### **DISCUSSION**



## Background

### Adjacent Land Uses

Adjacent land uses include a restaurant to the west, apartments and single family home on the north, an office building on the east and Coon Rapids Boulevard on the south. On the east the properties are also bounded by a 30 foot wide strip that provides access to a home at 2380 108th Avenue.

The applicant is requesting a change to zoning from Office and High Density Residential to General Commercial. The proposal includes three lots.

#### 2437 Coon Rapids Boulevard

This property is 30,000 square feet (.68 acres) and includes a 3500 square foot building. The building is currently fully occupied by the owner, an accounting company. The structure has been modified over the years. The most recent modification was a second floor addition and parking lot expansion in 1985. The property has been zoned Office since 1980.

The building complies with the current setback requirement for both the Office and General Commercial districts. However, the parking does not comply with the current rear yard setback requirement for either district; the required parking setback is 20' for both districts and 5' is provided. Both districts also require a buffer yard between the development and the adjacent apartment complex; the buffer is not provided.

#### 2423 and 2405 Coon Rapids

These properties are 47,636 square feet ( 1.1 acre) and includes a 16,200 square foot building. The building is currently partially occupied (one tenant leases about 1/3 of the building) The property was granted a CUP for a 9700 square foot furniture store in 1995; in 1997 the owner received approval for a 6500 square foot addition. These properties have also been zoned Office since 1980.

The building setback requirement for both the Office and General Commercial districts is 25 feet from the apartment complex and 50 feet from the single family home. A 25 foot setback is provided for the apartment complex and 30' for the single family home. Both districts also require a buffer yard between the development and the adjacent apartment complex and single family home. The Office district requires a 20' buffer between development and the adjacent apartment complex and the single family home; the General Commercial district requires a 30' buffer between both. Twenty-five feet is provide for the apartment complex and 30' is provided for the single family home.

## Analysis

The stated intent of the Office zoning district is to buffer residential districts from arterial streets or from General and Community Commercial districts and is generally compatible with adjacent residential uses The stated intent of the General Commercial zoning district is to encourage businesses that do not belong in shopping centers, businesses that are highway oriented, or tend to service industries, other businesses, and residences.

### *Proposed General Commercial*

The proposed General Commercial zoning better reflects the the current use of the property and and potential reuse of the site. This site sits along one of the most heavily traveled corridors in the city. The site is buffered from the apartments and single family house to the north by the existing garages and a wooded area. Changing the zoning of these parcels to General Commercial is an extension of the existing General Commercial district to the west. The applicant is not proposing any changes to the site. The proposed zoning will allow better utilization of the buildings.

### ***Compatibility with the Comprehensive Plan***

#### *Goal of improving the appearance and function of Coon Rapids Boulevard*

One of the ongoing discussions relating to the Boulevard is how does the City improve it's commercial vitality. This proposed zone change from Office to General Commercial would lay the groundwork for the revitalization of these sites. It would allow a more variety of uses.

#### *Objective to curb the blighting characteristics along the Boulevard and eliminate under utilized and obsolete land uses*

By changing the zoning to General Commercial, this under utilized site can be in a position to be an asset to the Boulevard.

### ***Compatibility with the Coon Rapids Boulevard Framework Plan***

The Framework calls out for the revitalization of obsolete, vacant and weak areas. By changing the zoning to General Commercial, this site would be more attractive for potential users.

The Planning Commission should also give consideration to the evaluation criteria found in Section 11- 304 when making their recommendation on rezoning requests.

| <b>Section 11-304.10 Criteria</b>   | <b>Comments</b>  |  |
|---|--|--|
| Effect of public health, safety, order, convenience, and general welfare in the area. | <b>OK</b> - The proposed zoning will not adversely impact area. The surrounding properties are commercial.   |  |
| Effect on present and potential surrounding land uses.                                | <b>OK</b> – The proposed zoning will not adversely impact the surrounding land uses.   |  |
| Conformance with the Comprehensive Land Use Plan.                                     | <b>OK</b> – Assuming the proposed land use amendment is approved, the proposed zone change will be consistent with the City’s Comprehensive Land Use Plan. The proposed land use designation is General Commercial |  |
| Conformance with any applicable development district.                                 | <b>OK</b> – Improvements and uses of the site will have to be in conformance with the River Rapids Overlay District.   |  |

## **RECOMMENDATION**

In Planning Case 16-21, the Planning Commission recommend approval of the proposed zone change based on the following findings:

1. The proposed rezoning to General Commercial is consistent with the land use designation of General Commercial.
2. The proposed rezoning is compatible with the adjacent land uses and zoning.
3. The times and conditions have change so that a reasonable use of the property can not be made under the current zoning.
4. The proposed zone change would not have an adverse impact on the area.
5. The proposed rezoning is consistent with the Coon Rapids Boulevard framework Plan and the River Rapids Overlay District.

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## **Attachments**

Location Map

Zoning map

Applicant's Narrative

Commercial Uses Table

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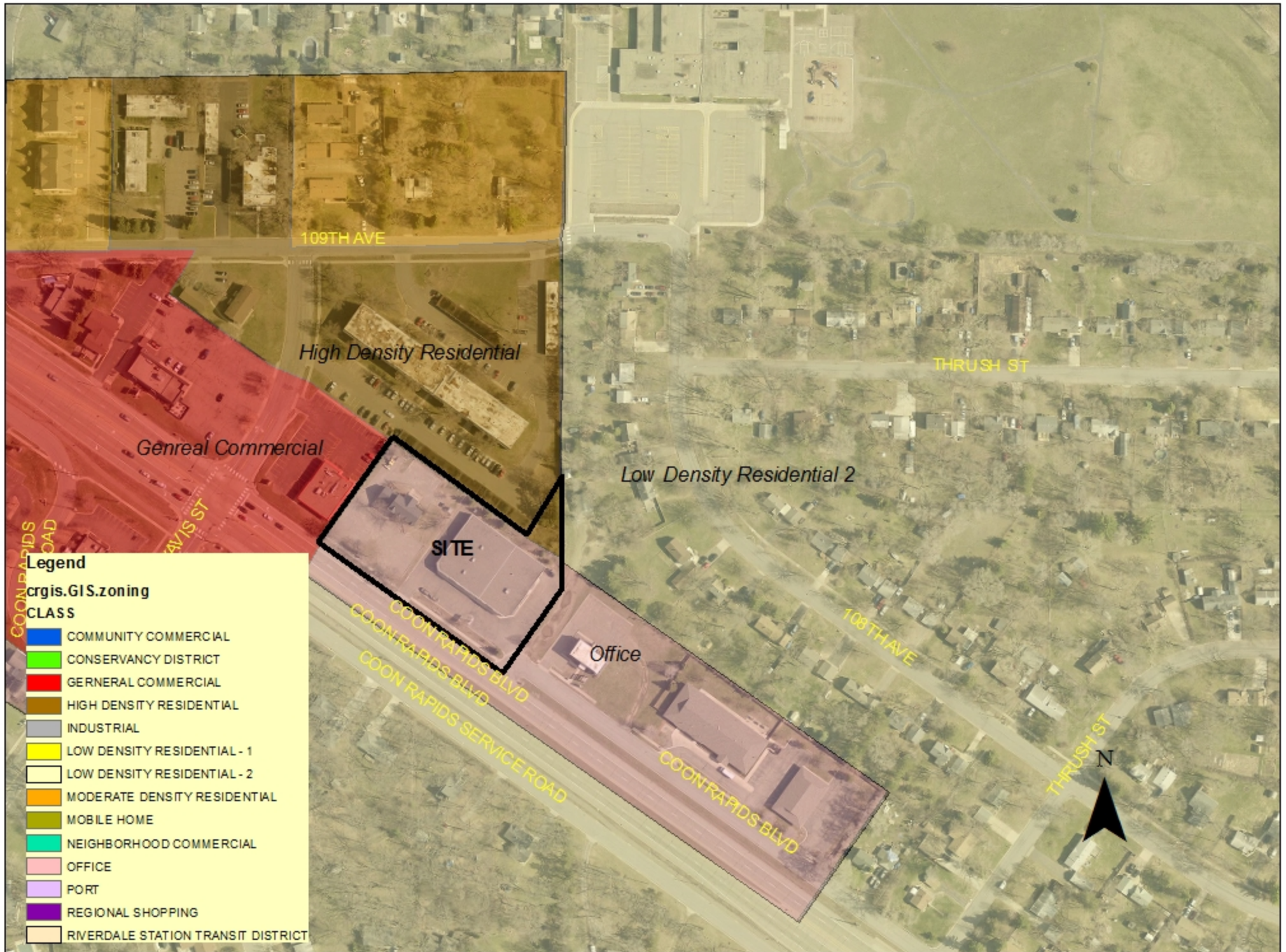


# Location Map





# Zoning Map



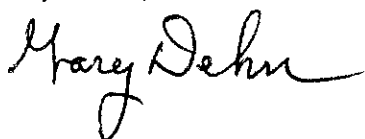
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This zoning change request is based largely on the issue that the property was never properly classified in the first place. The building is 16,200 square feet and has always been used as a retail store. Office zoning does not allow retail of over 15,000 square feet. When we purchased this property in 2009 it had two tenants, one was a carpet store and the other a furniture store. This was an investment property and was purchased under the assumption the use must be permissible. We have struggled for several years now with over one half of the building being empty. I am an owner but also a Commercial Real Estate Agent and have pushed as hard as I can to gain a new tenant. I have not had one potential office user inquire about this rental spot. All inquiries have needed a General Commercial zoning. I have worked on the assumption this building must have been grandfathered in but many tenants have passed knowing to change the zoning and be safe for their use of the space, would take some time and so moved on. I cannot afford to move forward any longer in this situation. The one tenant covers most of my loan payment but that leaves \$40,000 per year for taxes and overhead which is a big lose as we go farther into debt. The building was built for the uses that fit in the General Commercial Districts. We are only one property away the other General Commercial properties. It is consistent with the similar uses in the area and would fit the comprehensive plan. It makes sense to continue the General Commercial zoning from the Pizza Hut property to ours. To our rear is a large apartment complex and a large parking garage buffers us from it. It is critical to the success of this property to be changed to General Commercial zoning and to our peace of mind so that we are not always concerned about being in violation for having a tenant that has an unpermitted use renting from us. I have offices on both sides of our property and someday I may have the opportunity to rent to a larger office user but for now we need a larger scope of uses to fit the times and conditions.

Thank you,

Local Oil Co. of Anoka, Inc.

Gary Dehn, Owner

A handwritten signature in black ink that reads "Gary Dehn". The signature is written in a cursive, flowing style with a long horizontal stroke at the end.

## 11-701 - General Regulations and Tables.

11-701.1 Uses.**PRINCIPAL USES****COMMERCIAL USES**

| <b>Retail Sales and Service</b>                                       | <b>O</b> | <b>NC</b> | <b>CC</b> | <b>GC</b> | <b>RS</b> |
|---|----------|-----------|-----------|-----------|-----------|
| General retail sales  | NP       | NP        | P         | P         | P         |
| General retail sales less than 15,000 square feet total building size | P        | P         | P         | P         | P         |
| Art gallery or studio   | NP       | P         | P         | P         | P         |
| Bank or financial institution   | P        | NP        | P         | P         | P         |
| Building material sales or lumber yard                                | NP       | NP        | P         | P         | NP        |
| Child care center, state licensed                                     | P        | P         | P         | P         | P         |
| Commercial self storage with no outdoor storage                       | NP       | NP        | NP        | C         | NP        |
| Contractors office  | NP       | NP        | NP        | P         | NP        |
| Dry cleaning establishment  | NP       | NP        | NP        | C         | NP        |
| Farmers market  | NP       | P         | P         | P         | NP        |



|   |    |    |    |    |    |
|---|----|----|----|----|----|
| Firearms dealer   | NP | NP | P  | P  | P  |
| Funeral home  | C  | NP | P  | P  | NP |
| Greenhouse, lawn and garden supply store  | NP | NP | P  | P  | NP |
| Laundry, self service   | NP | P  | P  | P  | NP |
| No adult oriented business, as defined by <u>Section 5-2202</u> , is permitted, except adult book stores, adult cabarets, adult conversation parlors, adult motion picture theaters, and adult novelty businesses, subject to regulation under Chapter 5-2200 and Section 11-1208, or state or federal law. | NP | NP | NP | P  | NP |
| Non-on-premises consumption adult bookstores and adult novelty stores, as defined by Revised City Code 1982 <u>Section 5-2202</u> , subject to regulation under Revised City Code 1982 <u>Chapter 5-2200</u> and <u>Section 11-1208</u>   | NP | NP | P  | NP | NP |

|  |    |    |    |   |    |
|--|----|----|----|---|----|
| Pawnbroker   | NP | NP | P  | P | NP |
| Performing, visual or martial arts school  | NP | NP | P  | P | NP |
| Personal service establishment   | P  | P  | P  | P | P  |
| Pet grooming shops, provided no animal is kept overnight or outside and no noise is audible outside of the building or bay occupied by the grooming shop | NP | P  | P  | P | P  |
| Pet store  | NP | P  | P  | P | P  |
| Photocopying, duplicating services   | P  | P  | P  | P | NP |
| Precious Metal Dealers defined and regulated by <u>Title 5</u>   | NP | P  | P  | p | NP |
| Printing and publishing  | NP | NP | C  | C | NP |
| Rental business - no outdoor storage   | NP | NP | P  | P | NP |
| Rental business - with outdoor storage   | NP | NP | NP | C | NP |

|  |    |    |    |    |    |
|--|----|----|----|----|----|
| Secondhand Dealers or<br>Antique Dealers defined and<br>regulated by <u>Title 5</u>                      | NP | P  | P  | P  | P  |
| Self storage facility with no<br>outdoor storage   | NP | NP | NP | C  | NP |
| Service Business   | P  | P  | P  | P  | NP |
| Transient Merchants,<br>Solicitors, and Canvassers,<br>defined and regulated by <u>Title</u><br><u>5</u> | NP | P  | P  | P  | NP |
| Veterinary clinic, animal<br>hospital, kennel - no outdoor<br>runs                                       | P  | NP | p  | P  | NP |
| Video store  | P  | P  | P  | P  | P  |
| <b>Automobile Services</b>   | O  | NC | CC | GC | RS |
| Automobile rental facility   | NP | NP | C  | C  | NP |
| Automobile repair, major   | NP | NP | NP | C  | NP |
| Automobile repair, minor   | NP | NP | P  | P  | NP |
| Automobile sales provided<br>that:   | NP | NP | C  | P  | NP |



|   |    |    |   |   |    |
|---|----|----|---|---|----|
| (a) Must have minimum of 40,000 square foot building;   |    |    |   |   |    |
| (b) Indoor display area, and<br><br>(c) The building meets the development guidelines found in subsection 11-701.2. |    |    |   |   |    |
| Car wash  | NP | NP | P | P | NP |
| Convenience store   | NP | NP | P | P | NP |
| Convenience store provided that:  | NP | C  | P | P | NP |
| (a) The fuel sales are incidental to a retail store;  |    |    |   |   |    |
| (b) No separate building, structure, or store is used as part of the fuel sales;                                    |    |    |   |   |    |
| (c) No more than four dispensing hoses may be operable simultaneously per neighborhood shopping center, and         |    |    |   |   |    |

|   |    |    |    |    |    |
|---|----|----|----|----|----|
| (d) The fuel sales shall be accessible from off the parcel of property on which it is located by way of at least two in and out vehicular accesses. |    |    |    |    |    |
| Major recreational equipment sales, service and rental  | NP | NP | NP | C  | NP |
| <b>Food and Beverage</b>  | O  | NC | CC | GC | RS |
| Brew pub  | NP | C  | P  | P  | P  |
| Catering  | NP | P  | P  | P  | NP |
| Coffee shop   | P  | P  | P  | P  | P  |
| Liquor, off sale  | NP | NP | P  | P  | P  |
| Microbrewery with taproom   | NP | NP | P  | P  | P  |
| Microdistillery with cocktail   | NP | NP | P  | P  | P  |
| Restaurant, delicatessen  | P  | P  | P  | P  | P  |
| Restaurant, fast food   | NP | NP | P  | P  | P  |



|  |    |    |    |    |    |
|--|----|----|----|----|----|
| Restaurant, sit down including the serving of alcohol beverages provided they occupy no more than 25 percent of a building and have no drive up facility | P  | P  | P  | P  | P  |
| Restaurant, sit down including the serving of alcohol beverages  | C  | C  | P  | P  | P  |
| Tavern or bars   | NP | NP | P  | P  | NP |
| <b>Commercial Recreation, Entertainment and Lodging</b>  | O  | NC | CC | GC | RS |
| Amusement centers  | NP | NP | NP | P  | NP |
| Hotel  | NP | NP | P  | P  | P  |
| Indoor recreation  | NP | NP | P  | P  | NP |
| Outdoor recreation   | NP | NP | C  | C  | NP |
| Physical fitness center  | NP | NP | P  | P  | P  |
| Physical fitness center 3,000 square feet floor area or less   | NP | P  | P  | P  | P  |
| Radio or television station  | NP | NP | P  | P  | NP |

|  |    |    |    |    |    |
|--|----|----|----|----|----|
| Reception or meeting hall  | NP | C  | P  | P  | NP |
| Theater  | NP | NP | P  | P  | NP |
| <b>Office and Medical Facilities</b>                                       | O  | NC | CC | GC | RS |
| Blood/ plasma collection facility  | NP | NP | NP | P  | NP |
| Clinic, medical or dental  | P  | NP | P  | P  | P  |
| Clinic, medical or dental less than 15,000 square feet total building size | P  | P  | P  | P  | P  |
| General Office   | P  | NP | P  | P  | P  |
| General Office less than 15,000 square feet total building size            | P  | P  | P  | P  | P  |
| Hospital   | NP | NP | C  | C  | NP |
| Laboratory, medical or dental  | P  | NP | P  | P  | NP |
| <b>Transportation</b>  | O  | NC | CC | GC | RS |
| Ambulance service  | NP | NP | NP | C  | NP |
| Limousine service  | NP | NP | NP | C  | NP |



|   |    |    |    |    |    |
|---|----|----|----|----|----|
| Package delivery service  | NP | NP | NP | C  | NP |
| Taxi cab service  | NP | NP | NP | C  | NP |
| <b>INSTITUTIONAL AND PUBLIC USES</b>  |    |    |    |    |    |
| <b>Educational Facilities</b>   | O  | NC | CC | GC | RS |
| Non-classroom, personalized instructional services for students in grades K-12. The total floor area of all such uses shall not exceed 4,000 square feet of the total gross lease area of the regional shopping center where they are located | NP | NP | P  | P  | P  |
| <b>Social, Cultural, Charitable and Recreation Facilities</b>   | O  | NC | CC | GC | RS |
| Club, lodge or hall   | C  | C  | C  | P  | NP |
| Community Center  | NP | NP | C  | C  | NP |
| Community Garden  | P  | P  | P  | P  | P  |
| Library   | P  | P  | P  | P  | NP |
| Museum  | C  | C  | P  | P  | NP |

|  |    |    |    |    |    |
|--|----|----|----|----|----|
| Public parks and their incidental structures                                   | P  | P  | P  | P  | NP |
| Place of Worship   | C  | C  | C  | P  | NP |
| <b>Public Services and Utilities</b>   | O  | NC | CC | GC | RS |
| Electric or gas substation   | C  | C  | C  | C  | C  |
| Governmental buildings and facilities  | C  | C  | C  | C  | C  |
| Governmental offices   | C  | C  | C  | C  | C  |
| <b>ACCESSORY USES</b>  | O  | NC | CC | GC | RS |
| In building primarily used for office or medical purposes:                     | P  | P  | P  | P  | P  |
| (a) Restaurants provided they occupy no more than ten percent of the building  |    |    |    |    |    |
| (b) Retail sales of drugs and other medical supplies                           |    |    |    |    |    |
| Medical and dental laboratories in conjunction with medical and dental clinics | NP | P  | NP | NP | NP |



|  |    |    |   |   |    |
|--|----|----|---|---|----|
| Outdoor sales area of materials available for active sales as shown on an approved site plan | NP | NP | P | P | NP |
|--|----|----|---|---|----|

11-701.2 Development Guidelines. Developments must satisfy the following guidelines.

Determination of whether these guidelines are satisfied will be made by the Planning Commission or by the City Council after receiving a recommendation from the Planning Commission.

- (1) Vary building massing, using methods including staggering building components, adding columns, recessing doorways, creating interesting shapes and short, uneven facades.
- (2) Articulate building facades using techniques such as staggering, arcades, awnings, special window treatments, ornamentation and unique details. Face primary entries to public or private streets and orient doors for loading and unloading goods away from public or private streets.
- (3) Provide a variety of roof shapes using techniques including pitched, gable or hip roofs or detailed parapets and cornices or creatively shaped cornice lines creating interesting roof line profiles.
- (4) Every building must include a focal element or feature adding interest or distinction, using techniques such as elevating parts of buildings, towers, or emphasizing a prominent part of the building such as a corner or main entry or by using features such as canopies, porticoes, overhangs, arcades, facade recesses and projections, and peaked roofs or raised parapets above doors or windows.
- (5) All exterior wall surfaces must include a variation in building materials and color, which are to be distributed throughout the building facades and coordinated into the architectural design of the structure. Acceptable exterior building materials include the following:
  - (a) Brick or similar custom masonry unit having brick like appearance.
  - (b) Natural or cementitious stone.
  - (c) Architectural glass (i.e., curtain wall).
  - (d) Architectural, single skin roll formed profiles metal panel, minimum 22 gauge.